

**CRIMSON MOUNTAIN HOMEOWNERS ASSOCIATION  
ARCHITECTURAL GUIDELINES**

**FRONT YARD LANDSCAPING**

New or modified front yard landscaping **Shall be required to get approval** but if it conforms to the following guidelines no architectural fee will be charged and approval will be given quickly This is so the management company knows work is being done and that guidelines are being followed.

1. Irrigation of plant materials shall be provided by a permanent, automatic, underground watering system.
2. All required landscape areas should be occupied by plant material or groundcover. All bare earth surfaces must be covered (exception: flower beds).
3. Wildflowers are permitted under the condition that each homeowner growing wildflowers on their lot must keep flowers maintained and area must be free of weeds growing in granite/turf/flower beds/etc.
4. Ground cover may be of two types:
  - a) Vegetative ground cover consisting of living plant materials characterized by horizontal, as well as vertical growth, generally not exceeding eighteen (18) inches in height.
  - b) Inert ground cover consisting of 3/4 or 1/2 "decomposed granite with accent areas of river rock.
5. No artificially colored rock shall be allowed.
6. Artificial turf is allowed, but **SHALL** require approval of the Architectural Committee.

Turf (natural and synthetic) areas shall not exceed the City of Phoenix Small Turf Ordinance as may be amended from time to time but in no case shall turf areas exceed 40 percent of the landscapable area of the same lot.

Synthetic Turf will be considered for installation with the following conditions:

- a) A minimum of a one square foot sample of the exact synthetic turf product that is intended to be installed along with the manufacturer's product specifications must be submitted with the completed Architectural Approval Request form.
- b) Color must be a dark "lawn green" and be able to maintain its original color and appearance throughout its lifetime.
- c) The outside edges of the synthetic turf must be tacked down using a minimum of 7" stakes.
- d) The turf area is to be maintained like any other landscaped area and is to remain free of

weeds and debris.

- e) Texture and length of the synthetic turf is to remain the same length and texture of the originally installed product.
- f) Patches will not be allowed unless they are seamless and the exact "lawn green" color as the originally installed product.

- g) Faded turf will have to be removed or replaced and the responsibility remains with the homeowner and subsequent homeowners.
- h) A smooth or flat installation must be maintained in order to keep the turf from gathering or rolling. If rain or wind should erode the base which the turf sits on, then the base must be leveled.
- i) No additional synthetic turf will be allowed on the property without additional approval from the Architectural Committee.
- j) Warranty disputes with the manufacturer of the synthetic turf are the responsibility of the homeowner. The Board will allow a reasonable time frame not to exceed sixty (60) days to resolve the dispute and restore the turf back to the originally installed condition.
- k) Replacement of the synthetic turf must be pre-approved by the Architectural Committee to ensure like type color and quality of the replacement product.
- l) Removal of the turf at the request of the Architectural Committee and/or Board of Directors will be at the sole cost of the property owners and subsequent owners and any and all costs resulting from legal remedy should the Architectural Committee need to employ counsel to uphold any portion of this agreement, will be the responsibility of the homeowner or subsequent homeowner.
- m) Homeowners must abide by all City of Phoenix ordinances regarding synthetic turf specifications and installation.

When submitting for synthetic turf make sure your selection meets the minimum specifications noted below.

Components:	Minimum Spec
<b>Yarn Count</b>	<b>Primary:</b> 10,000/8 <b>Secondary:</b> 5,000/12
<b>Tufting Construction</b>	Dual Yarn, same row
<b>Blade Height</b>	1-3/4"
<b>Tufting Gauge</b>	3/8"
<b>Face Weight</b>	80 ounces
<b>Warranty</b>	10 year
<b>Color</b>	Natural Appearance

If any of these guidelines are not followed, or if the Architectural Committee or the Board determines that the installed turf no longer has the same appearance as it did when it was originally installed, the Board has the right to order the homeowner or subsequent homeowner to either repair the deficiencies or remove the turf and landscape the property, at the homeowner's expense, according to Crimson Mountain HOA Architectural Guidelines.

7. Berms are encouraged to add interest to the landscaping. The height and scale of the berm should be compatible with the rest of the front yard.

8. Hardscape accents (i.e. Saltillo tile and brick pavers) used to construct stepping stones and borders will be permitted if colors are compatible with the community. Acceptable colors are desert hues and other earth tones, including muted reds and oranges.

The following front yard landscaping **SHALL** require approval of the Architectural Committee:

Lawn ornaments, birdbaths, statues, fountains, etc. (exception: holiday decorations, which shall be removed within 5 days after the holiday (exception Christmas decorations shall be removed within 20 days after the Christmas holiday)).

Hardscape (i.e. concrete, brick, flagstone, tile, etc.) used to construct:

- a. New or modified walkways
- b. New driveways or driveway extensions
- c. Free standing walls or retaining walls
- d. Porch, patio or seating area

The following is a discussion of varying types of concrete additions to front yard landscaping. Any addition must be pre-approved by the Crimson Mountain HOA

#### Driveway Aprons

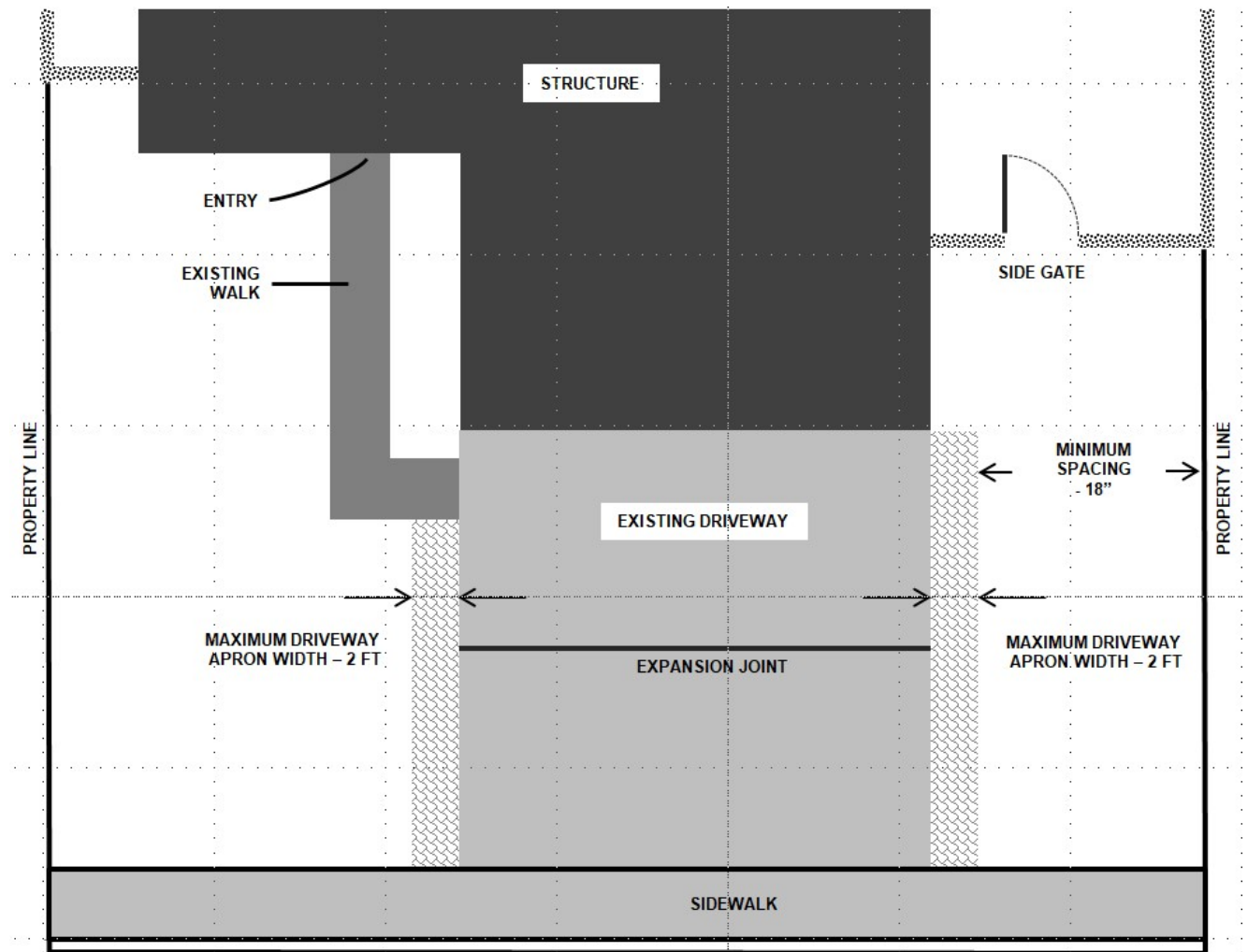
Driveway aprons may be installed with the following guidelines:

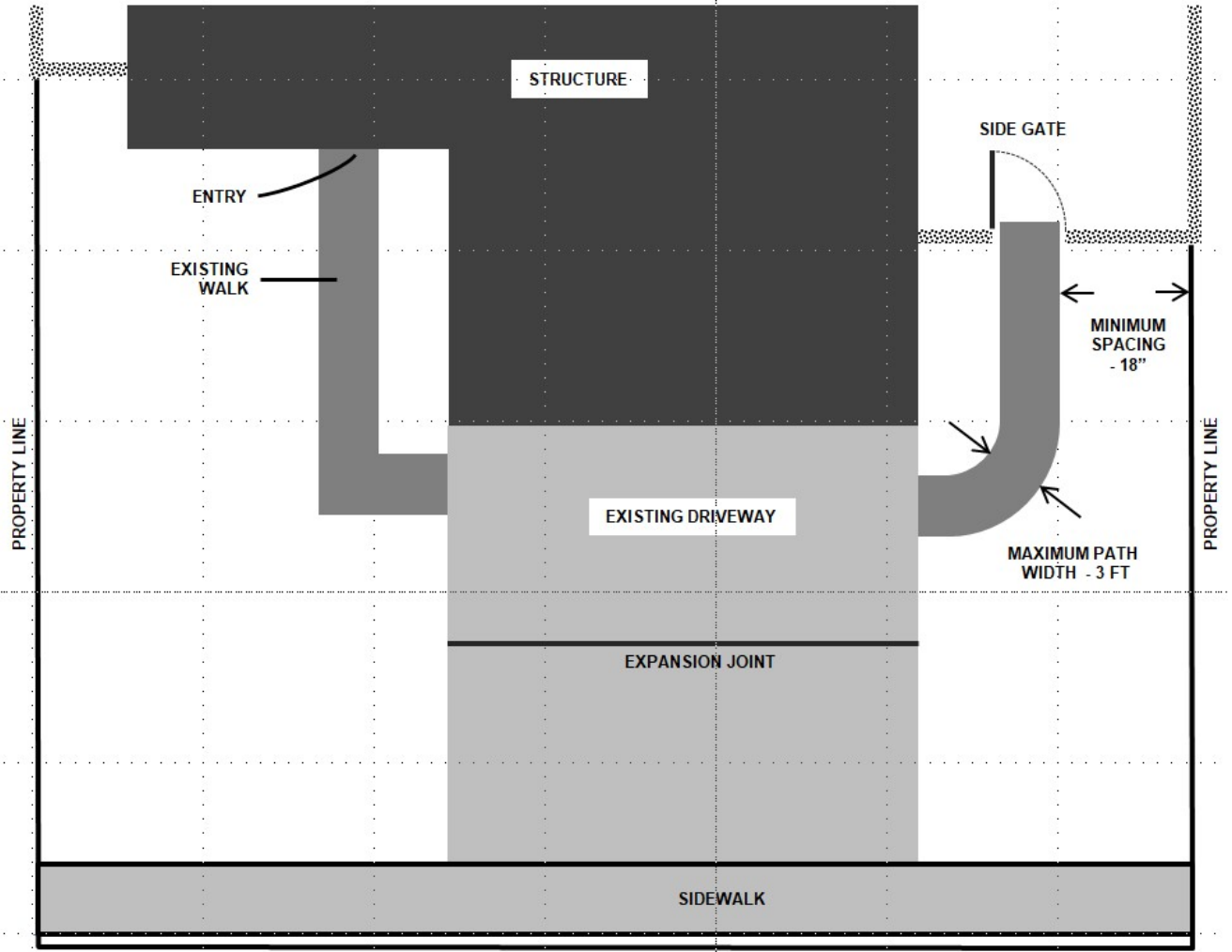
- Each Apron shall be no more than two feet in width.
  - Installation may be installed along each side of the original Driveway and the length of the original driveway. (see example drawings)
1. Driveway expansion will be considered for approval provided the combined width of existing driveway plus the proposed expansion does not exceed fifty percent (50%) of the total width of the front yard, when measured from the widest section of the driveway with expansion. Landscaping must be part of the plan submittal showing where and what will be added to soften the look of the concrete or paved area. The expanded driveway may be no closer than 18 inches ( see example drawings) to the side lot line or 12 feet to the side lot line if it is adjacent to a street. Plans must include:
    2. Plot plan and specifications showing:
    3.  All the dimensions of front of the lot (total area not enclosed by the rear yard perimeter fence).
    4.  Measurements of existing driveway.
    5.  Measurements of paved surface.
    6.  Measurements of space between paved surfaces where applicable.
    7.  Landscaping to be installed to soften the look of the concrete or paved area
    8.  Whether or not the curb adjacent to the proposed paved surface is a rolled curb or L-shaped curb.
    9.  All building materials and colors to be used.
  10. No parking shall be permitted on a driveway expansion when within five (5) feet of the property line or when space in the existing driveway is available. ( see example drawings)
  11. Patio Area
  12. A concrete slab may be installed in the front yard with the following guidelines:
  13.  Area may not exceed more than 25% of front yard area.
  14.  Distance between front of area and sidewalk must be no less than 15 feet.
  15.  Any seating items must be submitted for approval by including a

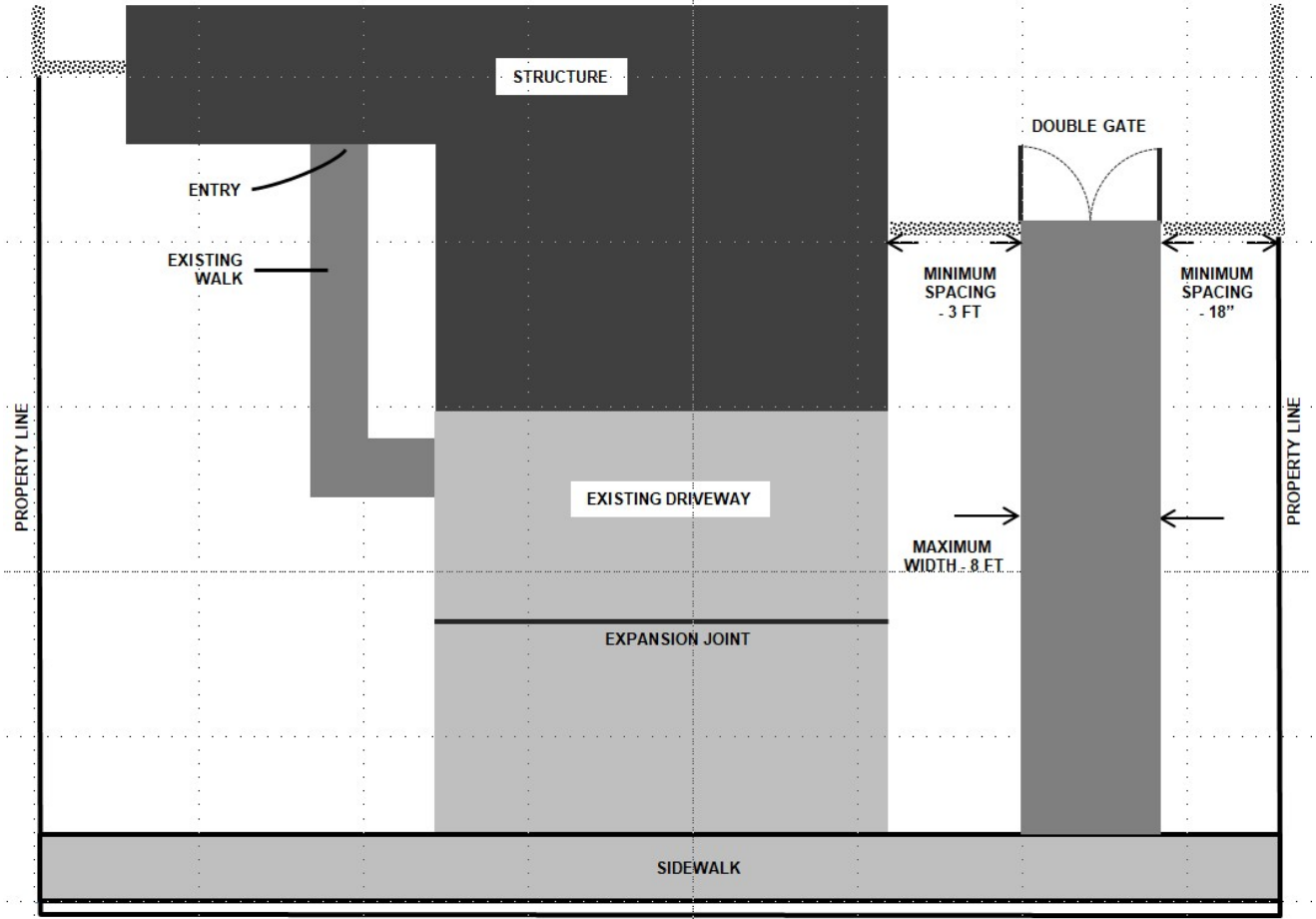
picture of items. (See next page – Decorative Items)

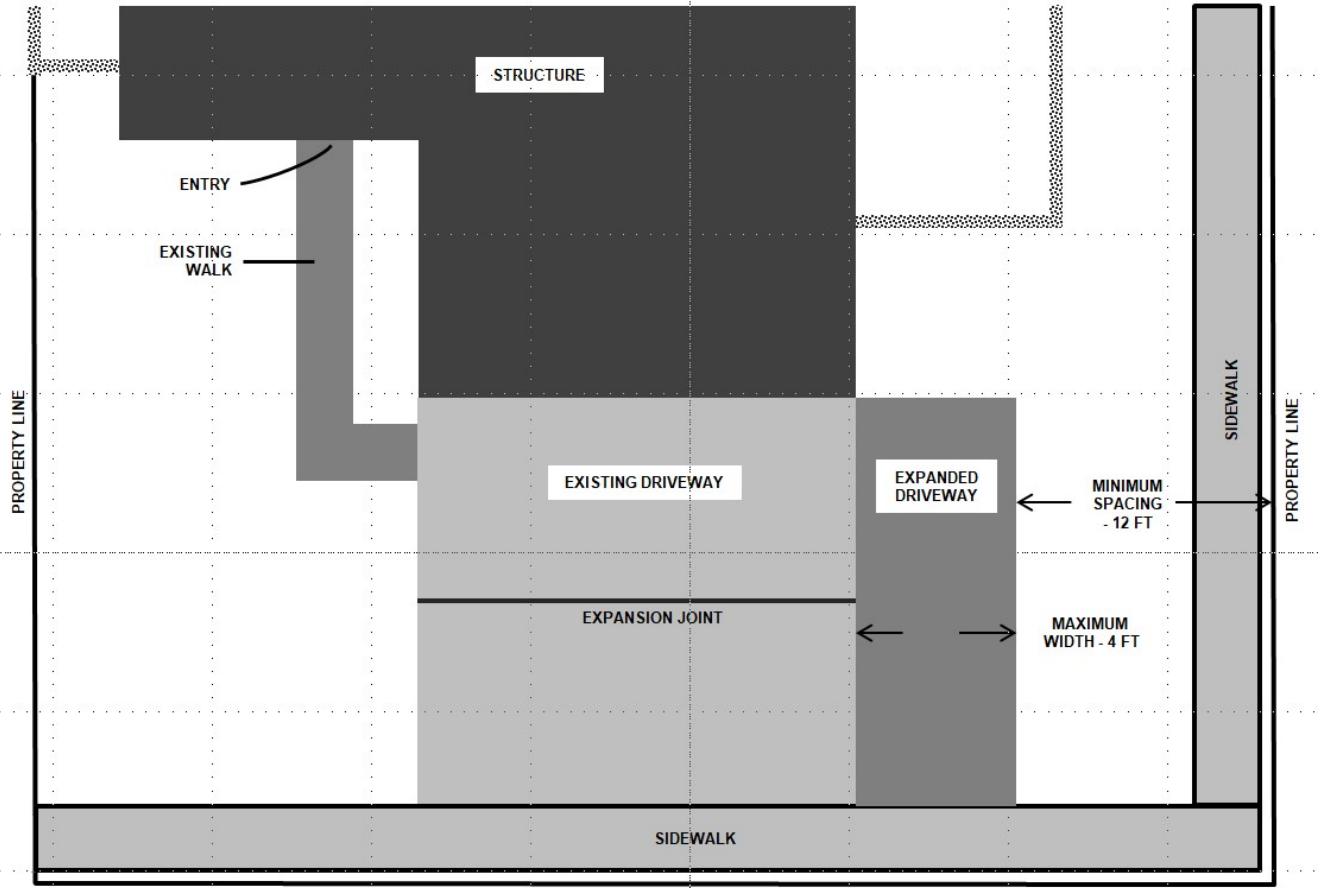
- 16. □□ It shall be the responsibility of the homeowner(s) to ensure that the additional concrete complies with the drainage guidelines provided by the builder.

Example Drawings for Driveways, Aprons, and Walkways











The Architectural Committee **SHALL RESERVE THE RIGHT** to request reasonable modifications to front yard landscaping if deemed appropriate.

### **REAR YARD and SIDE YARD LANDSCAPING**

New or modified rear yard and side yard landscaping **SHALL NOT** require approval of the Architectural Committee if it conforms to the following general guidelines:

1. Pools and spas placed in rear yards will not require approval if constructed within the following guidelines:
  - a) Any walls removed during construction shall be walls contained on the Owner's Lot. Removal of walls abutting a Common Area shall not be allowed.
  - b) Prior to construction of a swimming pool, a homeowner should contact the Management Company to coordinate the point of construction access to assure damage to common landscaped areas and common perimeter walls is avoided. In most cases, residents will be advised to enter through the side yard wall, from the front of their homes. Any opening which affects a common Association wall shall require an architectural submittal and a deposit of \$1000.00 for such work, refundable after walls and landscape are repaired and returned to their original condition.
  - c) Any wall removed shall be replaced in its original state immediately after construction is complete (including paint and landscaping damage). Wall removal requires a architectural approval.(Management Co. MUST be notified of the date when wall is to be removed and date replaced
  - d) Backwashing of pools must be contained on an Owner's Lot. The use of a dry well to retain backwash water is encouraged. Alternatively, backwash water may be drained directly into the sanitary sewer system (not storm drains) in accordance with current City of Phoenix policy. Backwashed water shall not be permitted to seep onto an adjoining lot, common area, or street.
  - e) Irrigation systems must be directed away from walls to eliminate seeping through, staining, and draining onto other properties.
2. Non-deciduous trees are encouraged for side and rear yards. Trees shall be placed in locations that will not encroach upon other Lots.

The following rear yard and side yard **SHALL** require approval of the Architectural Committee:

1. Ancillary components of pools and spas (slides, gazebos, etc.) visible from the street or adjoining property. Must be at least 5 feet from any backyard or side yard fence
2. Any structure (i.e. play equipment, storage shed, pergola, patio fireplace, etc.) that is visible from neighboring property or from the Street. Must be at least 5 feet from any backyard or side yard fence
3. Any increase in rear yard wall or side yard wall height.
  - a) Changes made to a "shared" wall must be a joint request signed by both adjoining Lot owners.
  - b) Any increases in wall height must be approved by the City of Phoenix.

**NOTE:** Approval for fence changes must come from:

First: The adjoining property owners,

Second The City of Phoenix

Third: The Architectural Committee

The Architectural Committee **SHALL RESERVE THE RIGHT** to request reasonable modifications to rear and side yard landscaping if deemed appropriate.

### **REPAINTING of HOMES and WALLS**

Using the builder's original exterior color options **SHALL** require approval from the Architectural Committee but there will not be an architectural fee charged

Any other exterior colors and/or combinations **SHALL** require prior written approval of the Architectural Committee. In the event that previously approved paint colors are to be used to repaint, approval is still required from the Architectural Committee, but there will not be an Architectural Fee charged (i.e. you do not need to pay again to get the same exact thing approved).

Please contact the HOA management company for the current approved paint colors and schemes.

### **LIGHTING**

1. New or modified light fixtures visible from Neighboring Property **SHALL** require approval of the Architectural Committee.
2. Security lights, whether or not installed by the building, **SHALL NOT** cause excessive glare or excessive light spillage onto adjacent lots.
3. Rear yard and side yard lighting shall be confined to patio and pool areas and **SHALL NOT** cause excessive glare or excessive light onto adjacent

## **SCREEN DOORS**

Screen doors constructed of wrought iron and painted either

- a) The same color as the house
- b) The same color as the window frames
- c) Black

**SHALL NOT** require approval of the Architectural Committee.

Screen doors constructed of any other material or color **SHALL** require the prior written approval of the Architectural Committee.

Clear aluminum (silver colored) screen material is prohibited.

Bronze, charcoal, almond/beige or gray sunscreen material may be installed.

## **SECURITY DOORS SHALL REQUIRE ARCHITECTURAL APPROVAL**

Security doors must be approved in advance by the Committee. Submittals should be high quality wrought iron in a color according to this list:

- a) **The same color as window frames**
- b) **Black**
- c) **The body of the house**

Overly ornate designs will be discouraged. Pictures or brochures should be submitted.

## **GATES**

Maintaining gates with the natural wood color and design originally installed by the builder **SHALL NOT** require approval of the Architectural Committee.

Installing a new gate, or changing the design or appearance of a gate, **SHALL** require approval by the architectural committee.

### **New gate installations:**

- a) Must not open on Common Areas as per the CC&Rs.
- b) All other areas: Gates must be natural wood color or must be painted the same color as the block wall fence.
- c) Any deviation from the above requires architectural approval

## **SUN SCREENS AND WINDOW TINTING**

Clear aluminum (silver colored) screen material is prohibited.

Bronze, charcoal, almond/beige or gray sunscreen material may be installed.

The frame for window screens must match the existing window frames. As long as this guideline is met and the sunscreens are of high quality and professionally installed, a sunscreen request form need not be submitted for approval.

Reflective window films are expressly prohibited. Bronze or charcoal nonreflective window tinting may be installed.

## **DISPLAY OF FLAGS**

Display of the American and Gadsden Flag (This is the flag with snake and the words "don't tread on me") shall be permitted by a bracket mounted on the garage portion of the house. Flagpoles will be allowed in front and back yard of a member's property, but may not be taller than the owner's rooftop. No more than two flags may be displayed.

## **GUTTERS and DOWNSPOUTS**

Gutters and downspouts **SHALL NOT** require approval of the Architectural Guidelines if they are painted to match the color of the house or trim adjacent to where installation occurs.

## **CHANGES MADE BY THE BUILDER**

Changes made by the builder (i.e. Centex, Courtland, and/or Pulte) as an optional feature **SHALL NOT** require the approval of the Architectural Committee.

## **SIGNS ALLOWED IN COMMON AREAS**

Owners may be permitted to erect "Open House" and "Garage Sale" signage in Common Areas in accordance with the following rules:

1. "Open House" signs in Common Areas placed by a professional residential brokerage company **SHALL NOT** require Architectural Committee approval.
2. "Open House" and "Garage Sale" signs in Common Areas which have been purchased or made by an Owner **SHALL NOT** require Architectural Committee approval; the Architectural Committee **SHALL RESERVE THE RIGHT** to request reasonable modifications to such signs if deemed appropriate.
3. Signs in Common Area **SHALL NOT** block any sidewalk traffic.
4. All signs in Common Areas must be placed no sooner than sunrise and removed no later than sunset.
5. A maximum of three (3) signs may be erected in Common Areas for one (1) event.

The Common Areas where signs are permitted:

- a) Along Ray Road, 46th Place and 48th Street.
- b) Along Desert Trumpet adjacent to the retention basin.

Signs in Common Areas are permitted no farther than twenty (20) feet from these roads.

## **SIGNS ALLOWED ON LOTS**

1. One "For Sale" sign on a Lot placed by a professional residential brokerage company **SHALL NOT** require Architectural Committee approval.
2. One "For Sale", "Open House" or "Garage Sale" sign on a Lot which has been purchased or made by an Owner **SHALL NOT** require Architectural Committee approval; the Architectural Committee **SHALL RESERVE THE RIGHT** to request reasonable modifications to such signs if deemed appropriate.
3. Signs on Lots **SHALL NOT** block any sidewalk traffic.

**SWINGSETS/PLAYSETS ("PLAY EQUIPMENT")**

1. All Play Equipment shall be placed in the rear yard a minimum of six (6) feet from any wall adjoining the yard of a neighbor.

2. All Play Equipment that exceeds the height of the rear yard wall **SHALL** require Architectural Committee approval. The Committee shall consider for approval Play Equipment that adheres to the following guidelines:
  - a) No part of the Play Equipment shall exceed the height of the rear yard wall by more than two (2) feet.
  - b) All Play Equipment visible from Neighboring Property shall be screened from that property by shrubs or trees that, at maturity and within a reasonable amount of time will at least equal the height of the Play Equipment.
  - c) Because the use of vegetation may not totally screen the Play Equipment, the Committee may require that the Play Equipment be painted a color compatible with the house located on the subject Lot.
  - d) No colorful canopies, roofs or other visual distractions higher than the height of the rear yard wall may be attached to the Play Equipment. No lights or night time illumination of the Play Equipment shall be allowed (exception: yard security lighting).

### **Awnings**

All awnings must be approved by the Committee. Awnings over all windows shall be canvas or similar weatherproof material of a solid color on both sides, which match the color of the body of the exterior of the home or roof color and shall be installed only on the side and/or rear of the home. All awning submittals must include a drawing with the location of the proposed awning installation, a sample of the material to be used, along with the color and design of the proposed awning. Owner is responsible for maintenance and repair of awnings. Association retains the right to determine when an awning must be repaired and/or replaced due to weathering, fading, tearing, ripping, etc.

### **VEHICLES, CAMPERS, AND BOATS**

Restrictions on parking or storing trucks, trailers, campers and boats on Lots or Common Areas are contained in Section 3.16 of the Declaration of Covenants, Conditions and Restrictions for Crimson Mountain. Questions and concerns regarding these restrictions should be referred to the Association's management office. Restrictions on parking on public right of ways, including streets, are regulated by the City of Phoenix City Code, Article 11, Chapter 36. Questions or concerns about vehicles parked on City streets should be referred to the Phoenix Police Department, non-emergency number.

### **BASKETBALL GOALS OR SIMILAR STRUCTURES**

Unless in conflict with your recorded Tract Declaration, these guidelines will apply. Basketball goals will be considered for approval provided that they are located in the rear yard within the confines of the rear yard perimeter fence and meet the following guidelines.

- Goals must be at least five feet from the rear fence.
- Goals must be at least 10 feet from any part of the house, including patio covers and bay windows on houses that have no patio covers.

- Goals must be at least five feet from all side fences and within a line extending from the side walls of the house to the rear yard fence.
- The Architectural Committee may on a case-by-case basis approve an installation outside of these guidelines. For example, exceptions may be considered because of an irregular shaped lot or because of the placement of the dwelling upon the lot.
- Portable and/or temporary basketball goals** may be utilized, but must be stored from view of common areas and/or neighboring properties when not in use.

DECORATIVE ITEMS (INCLUDING, BUT NOT LIMITED TO, BENCHES AND OTHER SEATING ITEMS, FOUNTAINS/WATER FEATURES, LIGHT POLES AND ORNAMENTAL STATUARY, ETC.)

Fountains/water features will be considered for approval with the following provisions:

- Except as approved by the Architectural Committee no fountain shall be placed or maintained nearer to the front property line than the walls or attached open porch of the dwelling erected on the Lot.
- The maximum height is five feet.
- It is recommended that the water be chlorinated.
- It is the obligation of the owner to keep the fountain well maintained and in good operating condition.

THESE ARCHITECTURAL GUIDELINES MAY BE AMENDED BY THE ARCHITECTURAL COMMITTEE FROM TIME TO TIME.