

CALABREA

DESIGN GUIDELINES

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1.0 INTRODUCTION AND PHILOSOPHY

Calabrea consists of exceptional lots situated along hillsides and washes. Care has been taken in the placement of the roads as well as the layout of each lot in order to preserve the natural features of the desert and mitigate existing road scars. The design of each residence will require its own sensitive approach to take advantage of the special opportunities unique to each lot. The siting of the structure into the natural environment must be accomplished with minimal disturbance to the land. The goals of these design guidelines are to:

- Achieve harmony with the natural environment by striving for minimum visual impact of the buildings on the landscape.
- Achieve harmony in the building environment by stimulating a natural, and agreeable diversity.

2.0 THE DISTURBABLE AREA

2.1 Definition. The disturbable area represents the area in which all improvements must be built including adequate construction access around the perimeter. (See Exhibit 2.1). The disturbable area for hillside lots is a legally defined area that the City of Phoenix will compare against submitted site plans when reviewing for building permit. The entire area of a Non-Hillside lot is disturbable.

The Committee, however, cannot guarantee that all views of all residents will remain unobstructed as the project continues to build out to completion.

On Hillside lots the disturbable area must be completely fenced during construction (See Section 7.3) with only one gated means of access approved by the Design Review Committee. All construction activity must take place within this construction fence.

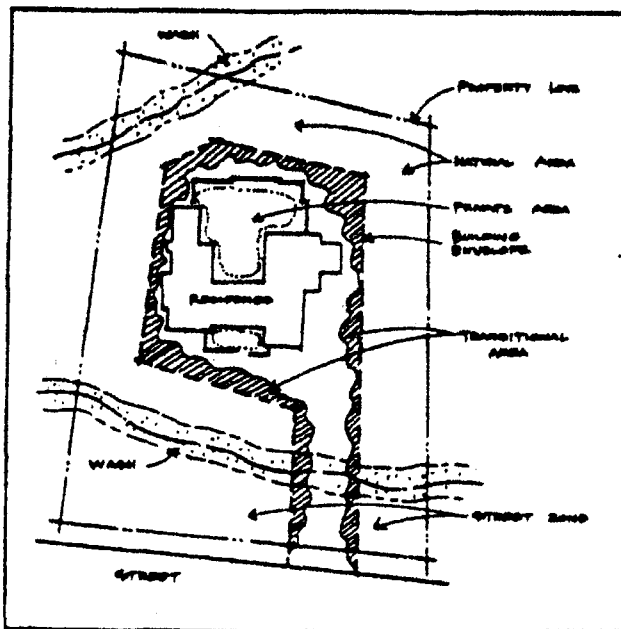


Exhibit 2.1

2.2 Natural Area on Hillside Lots. The Natural Area is that portion of the hillside lot outside the Disturbable Area. This area is to be left in its natural desert condition. Where scarred areas exist outside the Disturbable Area, revegetation is required to restore it to its natural state. The extent of revegetation and supplemental planting will be determined at the Pre-Design Meeting (See Section 6.2). All revegetated plant materials must be selected from the Native Plant list and be consistent in species and density with what generally exists in the area.

2.3 Transitional Area on Hillside Lots. The Transitional Area is that portion of the hillside lot immediately inside the Disturbable Area and most in view from the street and adjacent properties. This is the area within the fencing that will be disturbed during the construction process. The purpose of the Transitional Area is to provide a gradual transition between the indigenous plants in the Natural Area and the site improvements without establishing a strong contrast in the appearance of the vegetation. The idea of the Transitional Area is to make certain that the Disturbable Area line is not in any way evident in the landscape. Any change from the Natural Area to the more dense landscaping around the house is to be gradual (See Exhibit 2.1).

2.4 Private Area on all lots. The Private Area is that portion of the Disturbable Area which is not visible from adjacent properties, streets, or public spaces because it is screened behind walls or structures. The Private Area is the least restrictive in terms of plant materials. The Owner may install any plant material in the Private Area, except the prohibited plants listed in Appendix B. Any plants which will grow above the wall heights will need to be selected from Appendix A.

2.5 Street Zone on all lots. The Street Zone is that portion of the site which occurs between the Transitional Area and the street edge. Revegetation and supplemental planting may be required to augment the existing vegetation and create an attractive streetscape adjacent to the Calabrea roadways.

3.0 SITE DEVELOPMENT

3.1 Grading, Drainage and Utilities The following general limitations will apply to all site development:

- a. **Hillside lots** The topography of Calabrea varies considerably, and most lots have significant natural slope within their Disturbable areas. All improvements, therefore, should be stepped in response to the terrain in an attempt to balance the cut and fill requirements and nestle the building and its site work into the hillside (See Exhibit 3.1). See Exhibit 4.3 and 4.4 for an example of visually integrated retaining walls, with the use of "cut" and "fill."

Non-Hillside lots The topography of Calabrea varies considerably, and most lots have significant natural slope within their property lines. All attempts should be made to

balance the cut and fill of the site (See Exhibit 3.1). When designing boundary line retaining walls care should be taken to design the cut and fills with the adjacent lot's site requirements in mind.

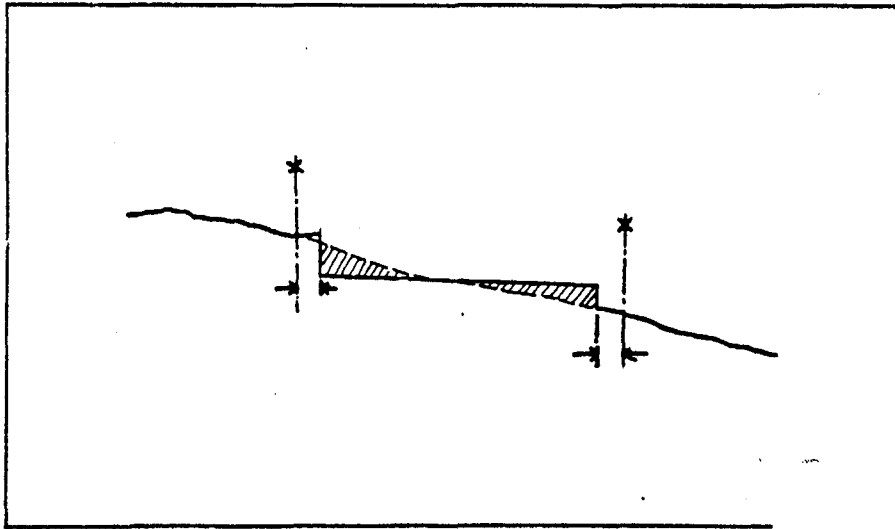


Exhibit 3.1

- b. While visually integrated retaining walls are preferred and may be required, a building pad may be constructed using the cut and fill slopes with the approval of the Design Review Committee. Cut or fill slopes may not extend outside of the disturable area. Landscape revegetation of cut and fill areas will be required which "heal the slopes into the natural environment. In the case of exposed rock cuts, staining to match the adjacent rock surface will be required. The required building elevations and sections must show the full extent of any intended cut and fill conditions. The goals are to minimize exposed rock cut and fill material and to balance cut and fill within the Disturbable Area.
- c. On Hillside Lots surface water may drain into adjoining lots or open spaces only as established by natural patterns, and shall not be altered to create a condition which could lead to erosion.
- d. The City of Phoenix hillside ordinance applies to Lots 72-78, 80, 81, 88-94.
- e. Grading or construction access will not be permitted outside the Disturbable Area.
- f. Unless specifically approved by the Design Review Committee, utility routing shall follow the driveway on hillside lots to minimize disturbance to the natural

vegetation. This routing shall be clearly shown in Design Submittals (See Section 6.5).

3.2 Setbacks The following Setbacks have been determined by the Developer. The City of Phoenix may have more restrictive Setbacks and should be consulted before proceeding with house and site designs. All lots shall have a minimum building setback of 25' from the front property line. Lots 1-56, 60, 62-69 shall have a minimum building setback of 25' from the rear property line. Lot 57-59, 61, 70, 71, 86 and 87 shall have a minimum building setback of 20' from the rear property line. All hillside lots shall have a minimum building setback of 25' from the rear property line. All non-Hillside lots shall have side yard setbacks of 7' on one side and 10' on the other. All side yard setbacks adjacent to streets shall be 10'. All Hillside lots have side yard setbacks of 10' each side.

3.3 On-Site Parking Each residence shall contain an enclosed garage within the Disturbable Area for at least two automobiles. The garage can either be attached to or detached from the main structure. (See Section 4.7). All detached garages must be visually integrated with the main residence. A minimum of two additional paved or dustproofed parking spaces should be provided to accommodate guest parking. No overnight on-street parking is permitted in Calabrea due to the reduced width of its private streets. Views of guest parking areas from adjacent lots, streets, or public spaces must be mitigated and diffused by way of screen walls or a combination of screen walls and landscaping. No exterior storage of recreation vehicles, boats, trailers, campers, etc. of any kind will be permitted.

3.4 Entrance Driveways Unless specifically approved by the Design Review Committee, only one driveway entry per lot is allowed. Driveways shall be a maximum of 16 feet wide at the street. Driveways shall be carefully designed using materials, textures, patterns and colors that minimize reflectivity and tire tracking and visually diminish the area of paving. Smooth concrete is prohibited. See Landscape Guidelines for pavement requirements.

3.5 Washes and Drainage Ways on Hillside lots Natural drainage ways, which occur frequently throughout Calabrea, must not be obstructed. Structures and other improvements should be sited to avoid the major natural washes. Bridging of washes by buildings and other improvements, designed not to obstruct 100-year storm flows, are permitted and even encouraged, especially if the design adds architectural interest.

Improvements designed and constructed to bridge certain drainage ways may require supplementary engineering data. Such a study would include a backwater flood analysis prepared by a licensed civil engineer to ensure the safety and feasibility of the design. The data may be subject to review by a licensed civil engineer retained by the Design Review Committee at the lot owners' expense.

3.6 Sports/Tennis Courts and Basketball Goals Sports/Tennis courts will be allowed, but are subject to all other requirements of these guidelines. Court lighting is prohibited.

Basketball goals may be installed at any residence in the rear yard subject to the approval of the

Design Review Committee. If approved, they must not be within 15' from immediately adjacent lots, streets or public spaces. All non-clear surfaces including the backboard, metal supports and pole are to be painted to match the color of their background (i.e. the house, or mountain). Portable basketball goals, which may be stored in the garage, are encouraged.

3.7 Address Identification . Address identification devices are required for each residence and must be submitted for review and approval. Numerals must be between three inches and six inches in height and the structure must be integrated with the overall home design (See Exhibit 3.7).

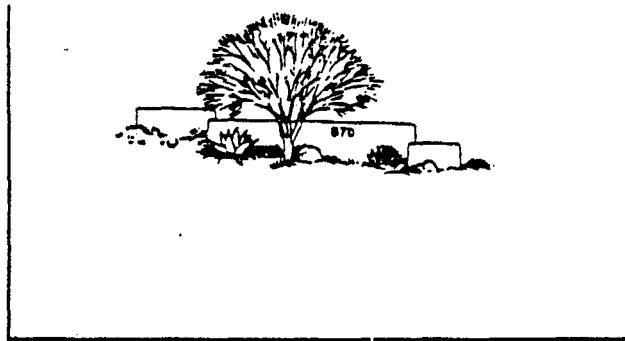


Exhibit 3.7

3.8 Lighting. An overall street lighting plan for Calabrea has been designed with the goal of creating a unified, natural effect which will not interfere or compete with the dramatic nighttime panorama of the desert and surrounding mountains. Any additional lighting on all Lots must be approved by the Design Review Committee. On Hillside lots lighting will be approved, only if limited to small areas within the Disturbable Area, is of low intensity, and does not result in glare or light spillage into neighboring lots. **In no case, on any lot, should the source of the light be directly visible (all exterior lighting must be shielded).** Lantern or carriage lights are not permitted on Hillside lots.

Security lighting must be tied to an alarm circuit that notifies authorities of an emergency condition. Landscaping may only be illuminated if the light is also providing lighting around walks, drives, patios or other landscaped areas used for outdoor living. Roofs, mountain sides, etc., may not be lighted.

4.0 ARCHITECTURAL CHARACTER

4.1 Appropriate Design "The goals of these Design Guidelines are to:

Preserve the character of the desert and each lot by way of development that is appropriate to its setting.

- Achieve harmony with the natural environment by striving for minimum visual impact of the buildings on the landscape.
- Achieve harmony in the building environment by stimulating a natural and agreeable diversity."

The goal of these Guidelines is not to dictate or direct architectural style; but to require site-specific designs that are responsive to the climate and terrain of their settings. However, certain architectural styles derived from regions other than the southwest, such as Coastal, Tropical, Alpine, Prairie, Colonial, Tudor, Plantation and Chalet, are prohibited. The Design Review Committee has the right to determine whether the architectural style, color, texture, and materials are appropriate for Calabrea and the philosophy of the Design Guidelines. Because the needs of each owner and the shape and slope of each lot will differ, achieving the goals stated above will insure a diversity of shape size and form; and, because all homes in this desert neighborhood share the same climate and desert landscape, achieving these goals will also assure a natural and agreeable harmony.

In the desert, the sun and climate should dictate your design. Take care to protect glass areas with overhangs and deep recesses. Design your floor plan and site plan as one; fully integrate your indoor and outdoor living spaces; design your site and home to be viewed from all sides and from above! **Do unto others as you would have others do unto you. If everyone minimizes their visibility, everyone will benefit; so be a good neighbor and design appropriately for the desert.**

It is important when planning your home to consider both the plan and the elevations at the same time. Avoid long unbroken walls in the plan because these become long unbroken planes on the elevation. Large, flat, unbroken planes stand in sharp contrast to the small multifaceted shapes of the landscape. Avoid large, simple, boxy, or geometric forms. Take similar care in the design of site walls.

Also avoid long uninterrupted roof lines or large unbroken roof planes. Although combinations of pitched and "flat" roofs can be quite attractive, this requires great care and attention to massing and proportion. If using a pitched roof, be consistent in using one pitch throughout (i.e., 3.5 in 12 or 4 in 12).

Strive to achieve "visual strength" in all elements of the design; that is, all columns must be "thick" enough for their height, beams "deep" enough for the span, fascias substantial enough for their length, and walls thick enough for their size. Recess all windows a minimum of 2" (See Exhibit 4.1). Do not rely on "pop outs" alone to achieve visual strength. If "pop outs" are used, they must be substantial in proportion to the opening they surround and the wall they are in. "Pop outs" will be closely scrutinized by the Design Review Committee. The Design Review Committee strongly encourages fully integrated design rather than reliance upon applied ornament or architectural decoration (See Exhibit 4.1).

Not Acceptable

Acceptable

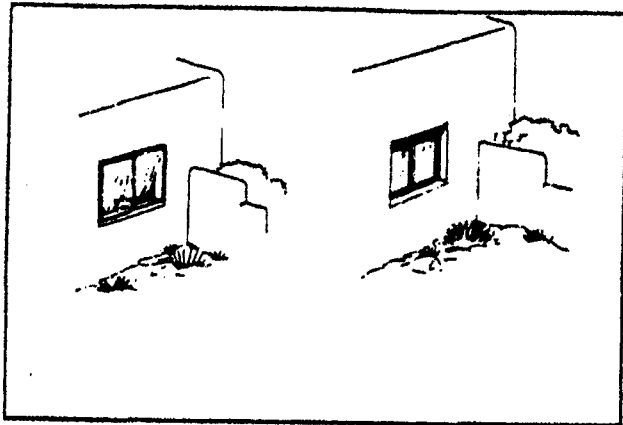


Exhibit 4.1

4.2 Livable Area. All residences must contain a minimum of 3,000 square feet of living area at grade. "Living area" is defined as those habitable areas measured to the outside of the outside walls, exclusive of garages, storage, terraces and covered patios.

4.3 Building Heights. The desert, particularly desert hillsides, are visually fragile environments; meaning that due to the low height and transparency of the landscaped, the natural character of the landscape is easily overwhelmed by manmade structures. The developer believes that preserving the natural character of Calabrea to the greatest extent possible will also protect, preserve, and enhance the long term investment of each home owner.

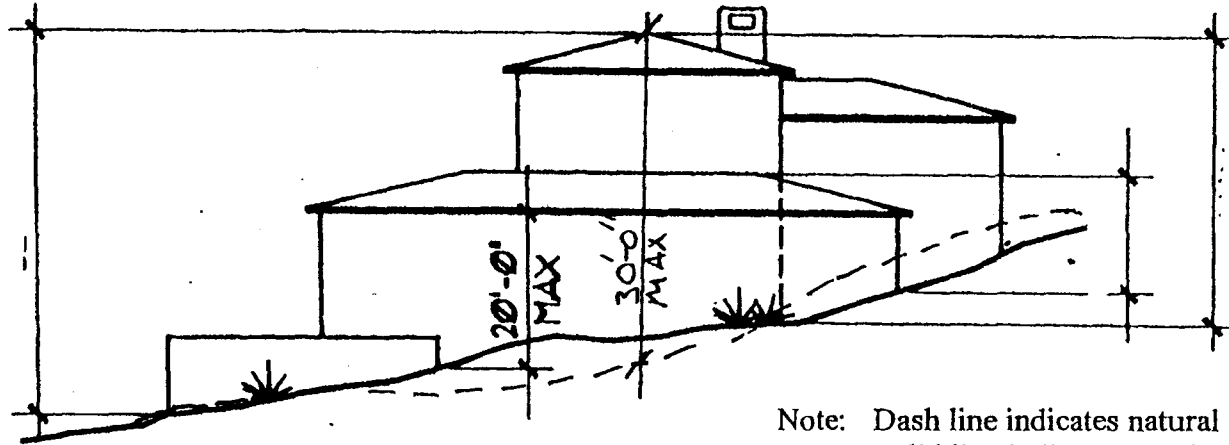
In order to achieve a minimum visual impact in this pristine desert setting, these Design Guidelines have established certain criteria concerning height, massing, and color reflectivity. The height limitations are as set forth below and illustrated in Exhibit 4.3.

The Design Review Committee may impose further height restrictions for purposes of carrying out the intent of creating a community of homes in which no one structure appears excessive in height or out of character with its neighbors or surrounding topography. Further height restrictions may also be imposed on lots which overlook other areas or which may be visible for other areas within the subdivision.

4.4 Building Massing and Articulation . Multiple building masses create a more interesting overall appearance by breaking up large surfaces into smaller areas. The effect of the shadows cast by the sun from one mass onto another change throughout the day and give the building a "long-distance" texture helping blend it in to its background of boulders, bushes, and trees.

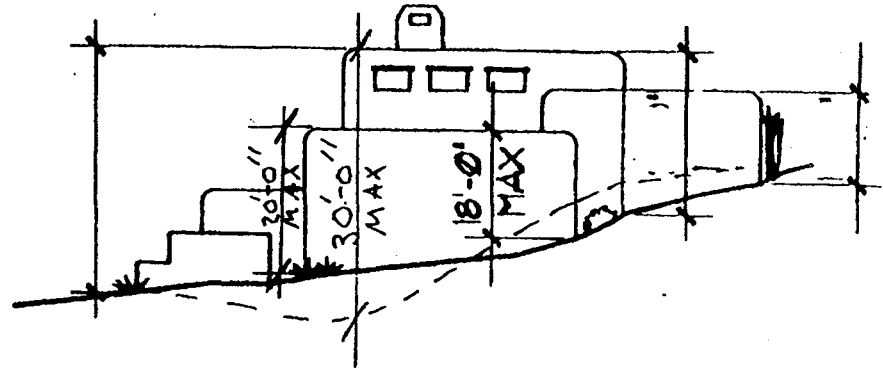
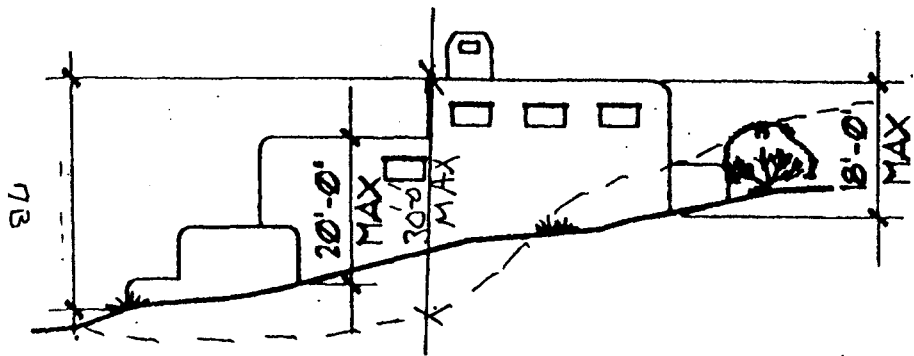
Each building shall be comprised of at least three distinct masses, visible from each elevation, with each offset from the other by at least 2' vertically and horizontally. Pitched roofs must also present at least three distinct masses as described above. Avoid long uninterrupted ridge or eave

7A



Note: Dash line indicates natural grade.
Solid line indicates finished grade.

Exhibit 4.3



Note: Dash line indicates natural grade.
 Solid line indicates finished grade.

Exhibit 4.3

lines and the appearance of a "lid" on a box.

The purpose of these provisions is to avoid large box-like shapes which contrast with the character of the desert landscape. In addition to plans which step with the terrain, all elevations are expected to incorporate deep set windows, trellises, piers, terraces, garden walls or other forms of setbacks and architectural devices which break the massing into smaller elements and add the richness of shade and shadow. Generally, all two-story homes must incorporate single-story masses around their extremity to reduce their scale. Compose the elevations and massing so that the viewer's eye is led smoothly from the ground up to the highest point of the building, then back to the ground, remembering that foundations and site walls form part of the overall compositions. For example, the homes depicted on the left side of Exhibit 4.4 are not acceptable. The homes on the right are designated to conform into this guideline.

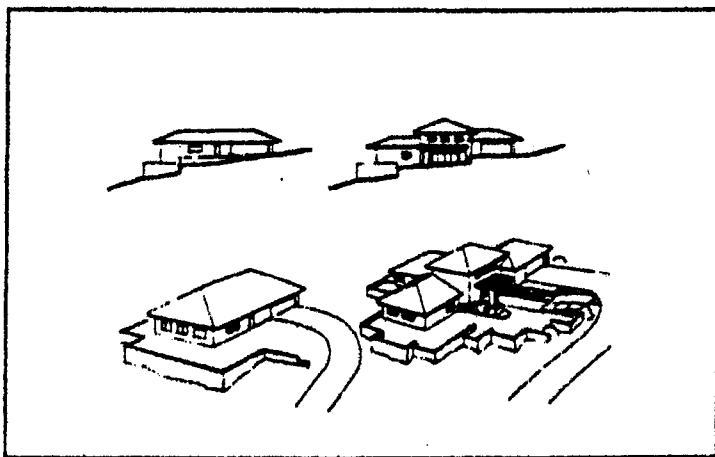


Exhibit 4.4

4.5 Elevations. Care should be given to the size, type, and organization of all windows and doors. All windows and doors shall be deeply recessed into the wall to give an impression that the wall is thick and massive. This, along with substantial massing, gives a sense of visual strength and avoids the appearance of "holes" cut into the side of a box. Thin styrofoam "pop-outs" around doors and windows do not add to visual strength and should be avoided. Deep, substantially framed recesses or surrounds are preferred.

The shape or style of the window should be generally consistent on all sides of the home with similar treatment of heads, jambs, and sills used consistently to achieve visual or stylistic integrity.

Chimneys are an important element in the home's composition and should be consistent with the overall theme. Chimneys shall be built out of an approved exposed masonry or have a stucco finish. The minimum cross sectional dimension of the chimney above the roof shall be 24" X 48"; however, larger dimensions may be required in keeping with the overall massing of the home. No exposed metal fireplace flues or spark arresters will be permitted.

Care should be taken in achieving visual strength of all supporting elements (columns, piers, etc.) spanning elements (beams, spandrels, headers, etc.) and freestanding or self-supporting elements on all sides of the home.

4.6 Cantilevers and Projections. If the use of any type of cantilevered, supported or projected construction is anticipated, the view from below must be considered. The submission must clearly show that the exposed underside presents a finished appearance and that the design creates no visually awkward conditions, nor areas which cannot be properly landscaped or maintained.

All cantilevered construction, building projections, including window surrounds, fireplace masses, balconies, terraces, building and site walls, must occur within the Disturable area.

4.7 Garages. All lots will be restricted to side entry garages only. In some cases front entry garages may be approved on a case by case basis. Lot owner must show a hardship due to the configuration of the lot. The garage should be no more than three (3) bays in width if the garage is facing the street. Single or double width garage doors are recommended because of their smaller scale; 18' x 8' is the maximum allowable door size. The door shall be a minimum four-panel design and any windows or other features in the doors shall be consistent with the theme and style of the home.

Multiple bays must be offset from each other by at least two (2) feet and the garage door must be setback from the face of the exterior wall by at least 12" and the width of the walls or jambs on either side of each door must be at least 15" (See Exhibit 4.7).

R. V. garages requiring doors over 8' will be reviewed on a case by case basis and must be well integrated into the overall massing and composition of the home.

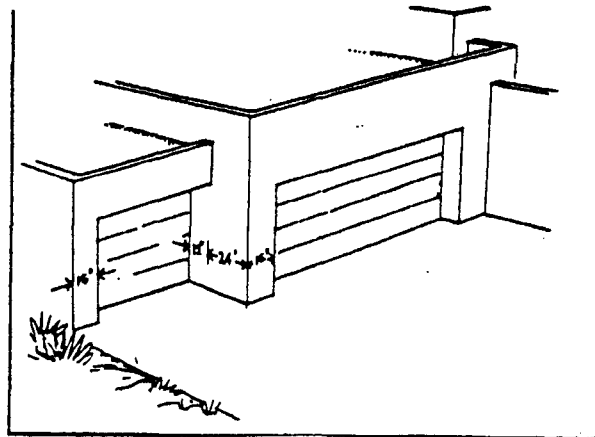


Exhibit 4.7

4.8 Roofs. Roofs are perhaps the single most important element of any home, particularly those within Calabria, because most of the roofs will be viewed from above. It is very important, therefore, that all roofs be dark and non-reflective and they appear well arranged, uncluttered by

equipment and that they present an interesting and well massed form. Both pitched and "flat" or parapetted roofs are allowed as are well balanced combinations of the two. Large unrelieved roof areas, either pitched or "flat", are prohibited, as shown on the left in Exhibit 4.8. The home depicted on the right in Exhibit 4.8 is a good example of combination of pitched and flat roofs. Remember that pitched roofs are generally more attractive than "flat" when viewed from above and "flat" roofs are generally less conspicuous when viewed from street level or below. Cluster all vent stacks, flue caps, exhaust fans and skylights to minimize clutter. Locate these items near or behind parapets to screen them from view, or if they must be located near the center of a roof area, a screening parapet must be provided. Study the appearance of the roof and the visibility of all roof accessories to minimize their impact on neighboring properties.

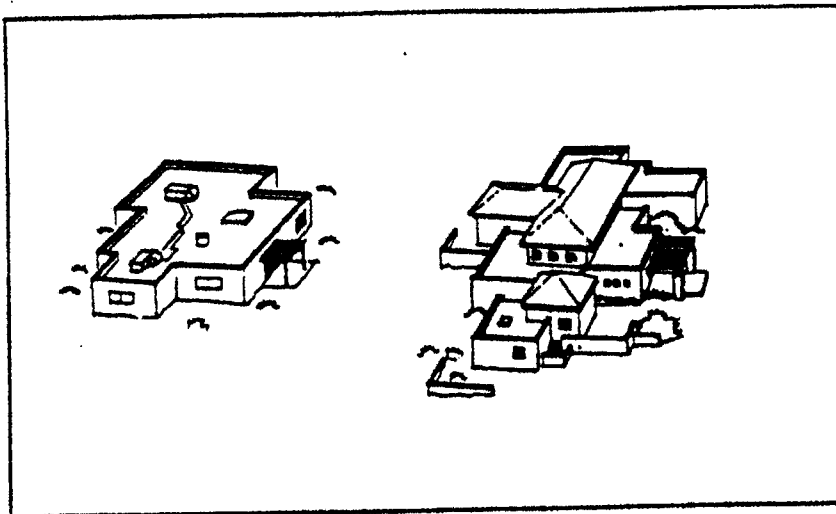


Exhibit 4.8

4.8.1 Pitched Roofs

- No clipped hips or ridges.
- Minimum pitch of 3.5 in 12.
- Maximum pitch of 5.0 in 12.
- Roof Finishes shall be constructed with either a clay, concrete or slate roof tile that is consistent with the design and color of the house. Asphalt shingle roofs are prohibited.
- Must be finished in a textured, low-sheen material with a maximum light reflective value of 30%.
- Asphalt shingles and rolled roofing materials are prohibited.
- All roof tiles must be variegated. No solid colors will be allowed. Blends of variegated tiles are encouraged.
- The objective is to minimize reflectivity and glare through the use of colors and shapes that will blend the roof with the color and texture of the desert landscape.
- No mechanical equipment of any kind may be located on a pitched roof.

4.8.2 Flat Roofs

- Must be positively sloped to drain (minimum slope 1/4" per foot, 3/8" per foot recommended).
- Must be finished in a low-sheen, textured material with a maximum light reflective value of 60% and match the body color of the house.
- Rolled roofing materials must be ballasted or otherwise finished as required above.
- All mechanical equipment, antennas, and solar equipment must be ground mounted and screened from view.

4.8.3 Skylights and Clerestory Windows. Light emanating from interior spaces through skylights and clerestory windows can cause glare and light pollution at night. Take care to shield interior lighting away from these areas to minimize their brightness at night.

- Skylights are prohibited on sloped roofs facing the street or on the front half of any sloped roof facing a side yard.
- All skylights, where permitted, must be tinted gray or bronze with the metal parts painted to match the roof. Clear or white skylights are prohibited.

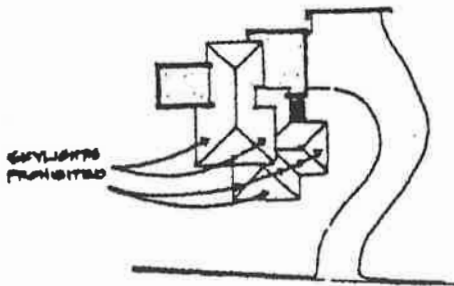


Exhibit 4.8.3

4.9 Site Walls. Where lots, such as those in Calabrea, require site specific solutions, the planning and design of exterior improvements is just as important as that of the living space itself. On sites such as these, the site plan and floor plan, must be developed together as a seamless living area. The entire site and building must present one well-integrated composition that nestles into the site and blends with the desert setting. This will generally involve a variety of walls that do not enclose building space and, thus, they are called "site walls".

Site Walls - General Requirements All site walls must be of the same character, finish and color as the main structure unless approved by the Design Review Committee. All site walls should appear as integral extensions of the house. All walls adjacent to streets shall be offset a minimum 12 inches every 50 feet. In the case of hillside lots no wall shall occur outside the

Disturbable area and all walls must be offset a minimum of 12 inches every 50 feet.

4.9.1 Fence: A wall or other enclosing device intended to define the perimeter of an exterior yard or pool area and shall be constructed of 6" CMU block (No Pilaster or Dulley walls). View fences shall be built according to the detail supplied by the Design review committee.

4.9.2 Pool Fences/Barriers: The height and construction of all walls surrounding pools must comply with applicable City of Phoenix regulations.

4.10 Patios and Courtyards Patios and courtyards should be designed as integral parts of the residence in order that they can be shaded and protected from the sun by roofs and building masses. These open areas can take advantage of natural air flows to produce cooler temperatures. By orienting such outdoor spaces inwardly, disturbance of the desert will be minimized.

4.11 Guest Houses A guest house may be constructed within the Disturbable Area of any lot with approval from the Design Review Committee. The guest house must be designed to appear as a single visual element with the residence, and should be visually related to it by walls, courtyards or major landscape elements. The guest house must comply with City of Phoenix zoning regulations.

4.12 Exterior Materials and Colors Exterior surfaces must generally be of materials that harmonize with the natural landscape. Textured masonry, painted slump block, or stucco should be the predominate exterior surface. Large expanse of wood will not weather well in desert conditions and will not be approved. Generally acceptable sloping roof materials include: flat colored concrete tile, flat terracotta tile, mission tile or standing seam copper, which must either be oxidized to a blue-green color or accelerated to the deep brown range. Shiny or lacquered copper, cedar shingles and shakes will not be permitted. All roof materials (including those listed) are subject to final approval by the Design Review Committee.

No highly reflective finishes except glass (which may not be mirrored) shall be used on any exterior surfaces.

All roof and wall colors must be muted tones selected to blend with the natural colors of the vegetation and mountains as seen from a distance. Darker, rather than lighter colors, are preferred and may be required. **White and bright primary colors are not permitted.** Lighter or darker accent colors may be used subject to Design Review Committee approval on an individual case-by-case basis. In general, the color of all flat roofs should be at least as dark or darker than the building walls or the general tone of the ground plane, whichever is the darker of the two.

In no case should the roof color unduly contrast with the color of the building walls. The maximum light reflective value of any major wall color or surface shall be LRV 60. At the discretion of the Design Review Committee, it may be necessary, as part of the submission, to erect on the site one or more sample test color panels not smaller than 16 square feet in area.

All grilles, flashings and other miscellaneous exterior items including, but not limited to, vents, gutters, downspouts, utility boxes, porches, railings, and exterior stairways shall match the color of the adjacent surface unless otherwise approved by the Design Review Committee.

No material or color change should ever occur on an outside corner. The technique of "shirt fronting" of masonry veneer or stucco will not be permitted. Material changes are most successful when made as part of a larger offset, for example, at a masonry pier or recessed window.

High contrast trim or material variations should be avoided in favor of those which blend all elements. For example, dark brown half-timber trim or white New England trim are not in keeping with the desert Southwest character of Calabria.

4.13 Miscellaneous Provisions All propane tanks, water tanks, or similar storage facilities shall be located underground with all visible projections screened from view. Tanks for the storage of gasoline or diesel fuel are not permitted. Satellite dishes must be screened so they are not visible from neighboring property and should be installed as ground mounted equipment. Satellite dishes shall be painted in natural desert colors to match the color palette of the home. Antennae are prohibited.

All above-ground garbage and trash containers, mechanical equipment and other outdoor maintenance and service facilities must be screened by walls from other lots, streets, or public spaces. Electric meters must be recessed into a wall and/or concealed behind a hinged panel in a form acceptable to the utility company; however, when a hinged panel is used, it must blend with the surrounding wall.

5.0 LANDSCAPING AND IRRIGATION

5.1 Landscape Design Philosophy The landscape design for each lot should seek to blend the residential structure with the existing desert terrain. Each lot, with its unique topography and vegetation, will require a comprehensive design review to accomplish this goal. Landscaping and irrigation drawings shall be prepared in sufficient detail to indicate the installed size, placement and character and name of all elements. The philosophy of the Guidelines is to ensure that as each lot is finished it becomes a coordinated element of an overall street scene. To that end, the landscape plan must be integrated with whatever is known concerning the surrounding properties. The Design Review Committee will look for sensitive treatment of all areas inside the disturbable area as well as a design which blends with the natural surrounding. Plant material should be used to reduce the scale of high walls and wherever possible, help to integrate the residence into desert.

The Street Zone of each lot is critical to the overall street scape appearance of Calabria. Certain lots within Calabria, which have been scarred by construction activities, will require extensive supplemental planting to create a unified and attractive street scape. Supplemental planting may also be required in areas where the existing natural vegetation is lush and scarring has not occurred. The Street Zone of each lot will be treated according to its unique existing conditions in order that the goal of creating a unified street scape within Calabria can be achieved.

5.2 Approved Plant List . Approved plants are described in Appendix A. Plants from this list shall be used in the disturbable area of each lot. Plants that are compatible with the indigenous plant life may be used in the Natural Area where revegetation of hillside lots are required, subject to approval by the Design Review Committee.

5.3 Prohibited Plant List Regardless of location, all plant material set forth in Appendix B (and any related varieties) is prohibited in Calabria.

5.4 Native Plants . Native trees of 4" caliper or more and cacti species 6' or taller are to be protected. If at all possible, improvements should be sited to avoid them. Salvaging of native plants disturbed by construction is required. Native trees over 4" in caliper and in good health must be identified, boxed, and reused on site. Native cacti shall be salvaged and reused on site. The Native Plant list is included in Appendix C.

5.5 Landscape Requirements for non-hillside lots. Because of the mass graded nature of these lots, special landscape requirements are required of each home owner. These requirements are intended to bring about a unified, lush Southwest theme street scape which is different, yet complements, the native landscape of the hillside lots

The following descriptive plan is meant to define landscape areas and features: Drainage patterns and conditions have been established for all lots. See Section 3.1

Aesthetic contouring of the front yards is required. Gentle mounding, terraced elevation changes, and contouring must coordinate with drainage patterns, and should be designed to enhance the residence's setting and landscaping. Slopes shall not exceed 3' in height with a 3:1 slope ratio. There shall be smooth transitions to adjacent grading.

The street zone landscape is a critical element in the overall aesthetic of the neighborhood. The Design Review Committee will require sensitive, coordinated, and functional street zone landscapes.

The street zone landscape area shall be determined by multiplying the lot width by the distances from curb or sidewalk to the building face and side yard walls. This area shall include walks, and courtyards, but not driveways.

Trees shall be selected from the Approved Plant List and planted at the rate of one tree per 600 square feet of street zone landscape area. At a minimum, each front yard shall have five (5) 24" box trees. Trees should be planted to provide shade, screen and soften wall surfaces, and accent the architecture of the residence. Shrubs and groundcover shall be planted in adequate quantities to soften the transition from building to ground, accent courtyard walls, provide accent and color at entry paths, and soften large areas of granite. Shrubs and groundcover should be planted in pleasing groupings which are in harmony with their respective growth characteristics. Shrubs

shall be selected from the Approved Plant List and planted at a rate of one (1) five gallon shrub per 100 square feet of street zone landscape area, and one (1) one gallon shrub per 75 square feet of street zone landscape area. As a minimum, there shall be thirty (30) five gallon shrubs and forty (40) one gallon shrubs. Approved headerboard materials should separate and define planting areas of contrasting elements, i.e.; turf from granite, and shrubs from turf.

Small accent or oasis areas of turf are encouraged. It is preferred that turf areas set back from any street curb, neighboring property, or public sidewalk and shall be gently contoured and of an irregular shape. If turf is utilized, it shall be maintained in a "green" condition year round. Overseeding is required. Turf shall be contained by an approved headerboard material.

Native and specimen cactus are encouraged to be planted in the arid portions of the street zone. A mature saguaro (10' min. height) can be substituted for one 24" box tree in the front yard requirements. Other cactus specimens can be substituted or added to the shrub planting requirements. Cactus varieties shall comprise a maximum of 1/3 of the required shrub plantings. Cholla cactus varieties are specifically prohibited in front yard plantings. Cacti shall not be planted in turf areas.

All yard areas (except turf) shall receive a covering of decomposed granite or Foothills natural rock. Granite shall be no larger than 3/4 minus and be within the color ranges stipulated by the committee. Granite areas shall be kept in a neat and weed free manner. Accent areas of boulders, and mounding are encouraged. Specifically prohibited are: colored stone, cinders, formal geometric patterning, and common gravel. Design coordination between neighbors is encouraged. Similar grading, granite, and plant materials can be utilized so one landscape flows into another. If a physical separation is required or granite is different colors, headerboard materials, garden walls, etc. shall blend with the landscape and home architecture. Specifically prohibited are 2 x 4 wood headerboards, above grade railroad ties, vertical wood poles, scalloped shape precast concrete elements, or similar elements.

Driveways, walks, and courts shall be of rough finish colored concrete which blends with the selected home and granite color. Colored precast pavers, colored exposed aggregate concrete, and colored "patterned" concrete are encouraged as drive and walkway materials. Specifically prohibited is natural or grey concrete, smooth concrete finishes, and painted concrete.

Landscape lighting must conform to the zoning stipulations for Calabria. See Section 3.8 for requirements and prohibitions.

Rear yard landscape shall utilize plants from the Approved Plant List and must be installed within six months of receipt of Certificate of Occupancy.

Shrubs shall be selected from the Approved Plant List. At least one (1) five-gallon shrub for each 100 square feet of side yard area, and one (1) one-gallon shrub for each 100 square feet of side

yard area shall be selected.

5.6 Street Zone Side Yard Requirements for non-hillside lots. Because of the nature and shape of these lots, special landscape requirements are necessary. Trees shall be selected from the Approved Plant List and planted at the rate of one (1) 24" box per 30 lineal feet of side yard abutting a street. They shall be planted in an irregular spacing and in informal groupings. Trees shall be minimum 24" box size. Shrubs shall be selected from the Approved Plant List. At least one (1) five gallon, and at least one (1) one gallon shrub shall be planted for each 5 lineal feet of side yard. All areas shall be covered with approved decomposed granite. (See Section 5.5).

Walls in the street zone of these lots require special design consideration because of their impact on the street scene. See section 4.9 for wall design criteria.

5.7 Landscape Requirements for Disturbable area of hillside lots Because of the lots' unique land form and Sonoran native vegetation and maximum disturbable area the majority of the site will remain in its present undisturbed state, refer to Section 2. The following requirements are intended to establish landscape revegetation criteria for blending new residences into the fabric of the existing desert landscape and establish landscape criteria for the oasis and use areas of the residence. No physical construction or grading is permitted outside the disturbable area.

Native trees of 4" caliper or more and cacti species 6' or taller are to be protected. If at all possible, improvements should be sited to avoid them. Salvaging of native plants disturbed by construction is required. Native trees and cacti over 4" in caliper and in good health must be identified, boxed, and reused on site.

The following descriptive plan is meant to define landscape areas and features:

The area outside the disturbable area shall remain in its natural state. Grading, construction vehicles, storage of building supplies, etc. are expressly prohibited outside the disturbable area. If any damage occurs, the homeowner will be required to return the disturbed area to its original condition. Any areas of undisturbed or previously scarred natural area that the homeowner wishes or is required to enhance shall be done with the use of native plants. See Native Plant List, Appendix C, for approved trees, shrubs, and groundcover. Plantings will be limited to the addition of trees, cactus, or shrubbery to screen or accent site and/or off site features or to cover bare or previously scarred areas.

No permanent irrigation will be permitted outside of the disturbable area. Watering of enhancement plants will be by hose or other approved temporary, above ground methods. No trenching will be permitted. Hoses, if utilized, shall be stored out of view. Temporary irrigation must be removed after establishment period.

The transition zone is defined as the disturable area not enclosed by a rear private area which has been disturbed or impacted by construction. The transition zone will require careful planning and execution of landscape design.

The general concept of revegetation is to blend the residence into the native desert utilizing the same varieties and densities of plant materials adjacent to the disturable area.

Trees shall be selected from the native plant list and planted at the rate of one (1) 24" box tree per 600 square feet of transition zone landscape area. Transition zone area shall be calculated by multiplying the disturable area width by the distances from the street side envelope line to the building faces. Credit will be given for existing plant material in good condition.

Shrubs and groundcover shall be selected from the native plant list shall be planted to adequately blend disturbed area into undisturbed area and soften walls, graded areas, etc. Planting shall reflect the size, type, and density of the undisturbed areas of the site. As a minimum, there shall be twenty (20) five gallon shrubs, and thirty (30) one gallon shrubs shall be planted in the front yard transition zone disturbed area.

Native soil shall be fine graded and contoured to blend with the envelope boundary. Native rock can be utilized to create or continue drainage ways. The use of native boulders are encouraged as accents and for grade changes in place of retaining walls. Native wash areas should remain in their natural state. Additional accent elements of gentle contouring and cacti are encouraged.

Driveway materials must be of low reflectivity, such as approved integrally colored exposed aggregate concrete or colored exposed aggregate concrete. Construction scarring of areas adjacent to the drive shall be revegetated with the same plant varieties and densities that exit in the adjacent natural areas.

Within the transition zone, the development of enclosed courtyards is encouraged. These courtyards provide privacy from the street, additional architectural expression, and create a transition from the desert exterior to the home's interior. Courtyards can be landscaped as an oasis by utilizing elements such as water, turf, and lush plantings. Non-native plant varieties can be utilized if their mature height is less than the adjacent courtyard wall. Only native trees can be utilized in courtyards. Turf if utilized in courtyards should not be visible from the street.

Rear yard landscape within the disturable area is encouraged to provide both lush private areas and Sonoran Desert zones. Private areas may include turf, pool areas, paved terraces, and lush plantings. Private areas, pools, decks, walls, fences, and patios are to be in harmony with the site's gradient.

Fencing of pools and private areas must be carefully designed to provide smooth and harmonious transitions from natural to developed areas.

Side yards within the disturable area are usually unfenced and revegetated to match the adjacent natural area. If side yards are fenced to create private areas, the same landscape criteria applies as stated in this Section shall apply. Outside the wall, the area shall be revegetated to the same varieties and densities as the adjacent undisturbed area.

All mechanical equipment shall be screened. See Section 4.13.

6.0 REVIEW AND APPROVAL PROCESS

6.1 Overview. For the initial home construction, or any modifications, color changes or additions to the original structure, or construction of new structures, the applicant is responsible for obtaining formal written approval from the Calabrea Design Review Committee and the City of Phoenix. **ALL APPROVALS MUST BE SECURED BEFORE ANY IMPROVEMENTS OR ALTERATIONS ARE MADE TO THE PROPERTY.** Failure to secure approval from the Design Review Committee could result in the levy of a *fine up to \$5,000.00* and/or the removal or reconstruction of any unapproved improvement or alterations.

In order to minimize conflicts with City of Phoenix approvals, the Calabrea Review and Approval Process shall be initiated by the applicant and carried to a general level of acceptance prior to making a submission to the City of Phoenix. Since the design review procedures are independent and differ in their intent from those of the City, approval by the Design Review Committee is separate and distinct from City of Phoenix approvals.

Calabrea Review and Approval Process includes four phases:

- 1) the Pre-Design Meeting;
- 2) the Schematic Submittal;
- 3) the Final Submittal; and
- 4) Final Inspection.

The architectural review process is private and all submissions will be responded to in writing. Any request for further discussion related to decisions rendered by the Design Review Committee must be made in writing.

6.2 Pre-Design Meeting To Initiate the Review and Approval Process, a Pre-Design Meeting must be held with a Design Review Committee representative. An appointment must be made a minimum of one week in advance of the desired meeting date. The purpose of the meeting is to review the submission and approval process with the applicant as well as to discuss the individual lot. Only very preliminary sketches should be prepared for this meeting since this is an informal review.

The nature of the site mandates that the architect or designer fully understand its physical attributes and restrictions. For this to occur, the architect or designer must visit the site prior to the Pre-Design Meeting. A topographic survey of the lot with one foot contours up to 15 percent slope and with five foot contours thereafter shall be prepared and brought to this meeting along with pictures of adjacent residence if any. All rock outcroppings, native trees of 4" caliper or more, and cacti species 6' or taller should be clearly indicated on the survey.

6.3 Schematic Submittal The Schematic Submittal should be prepared only after the Pre-Design Meeting has occurred. The Schematic Submittal shall include the following items:

- A check for \$750 made payable to the Calabrea Homeowners Association for the Design Review Fee.
- Topographic Survey as required for the Pre-Design Meeting.
- Site Plan at 1" = 20' minimum, showing all improvements, including but not limited to, buildings, walls, pool, hard surfaces, utility routing, proposed grading, and proposed floor elevations.
- Floor Plan at the minimum 1/8" = 1' showing all buildings
- Site sections at the minimum of 1/8" = 1'0" as required to clearly indicate the all heights in relation to natural grade. Show all proposed cuts and fills in a clear graphic delineation.
- Elevations of all sides of the building. Show all natural grade lines and proposed new grades.
- Roof Plan, showing all roofs, flat or sloped, integrated solar panels or skylights. Spot Elevations related to finish floor, finish grade and existing grade, shall be shown for the top of all ridges, parapets, etc.

6.4 Final Submittal After the Schematic Design is approved, the following documents are to be submitted for the Final Submittal:

- A check for \$3,500 made payable to the Calabrea Homeowners Association for the Compliance Deposit. The deposit shall be returned to the owner upon completion of all approved construction, including house, landscaping, pool, etc.
- Complete construction documents and specifications, including grading plan, utility routing and meter locations, as well as manufacturers' cut sheets for all exterior lighting. The submittal must include all roof and floor plans, elevations and sections, at a minimum of 1/8" = 1'0".
- Samples of all exterior building materials and sufficient size to show intent as well as all final exterior colors shall be affixed to an 8" x 11" cardboard sheet which can fit into a normal file. All window frame finishes and glass types must be clearly indicated; and
- Estimated construction time schedule with an estimated date for completion. No home shall have construction time line for a period greater than one year from the commencement of construction without approval of the Design Review Committee.

6.5 Final Design Approval The Design Review Committee will meet and review the submittal for conformance to the Guidelines, including any previous stipulations required as part of the Schematic Submittal. The Committee will either issue Final Design Approval or clarify what further revisions or information is required.

6.6 Work In Progress From time to time, on-site, random inspections may be conducted by a member of the Design Review Committee. Should violations of the approved design be found, the applicant will be notified and corrective work must be undertaken immediately.

6.7 Field Revisions Should the Owner, during the course of construction, desire to make any revisions to the approved exterior design of a house, color, lighting, or landscaping, written approval for any revisions must be obtained from the Design Review Committee.

6.8 Final Inspection Upon receipt of a certificate of occupancy from local building authority and completion of landscape and pool, the Owner shall give written notice to the Design Review Committee. Within thirty (30) days of receipt of notice, a member of the Committee will inspect the residence for compliance with the Final Submittal. If it is found that work was not completed in strict compliance with the approved Final Submittal, the Owner will be notified in writing of such non-compliance within ten (10) working days of the inspection. Should the improvements be found in compliance, the Owner will be notified in writing, as such and the Review and Approval Process shall be deemed complete.

If items of non-compliance have not been corrected after the expiration of a 30 day period from the date of the notice of non-compliance, the Owner will receive notice that the Design Review Committee may take such action as provided for in the Design Guidelines and the Declaration to remove the non-complying improvements.

When all items found in non-compliance have been corrected, the Owner shall notify the Design Review Committee, requesting additional Final Inspection. A committee member will review the residence within ten (10) days of the request for Final Inspection. Should all items be found to be in compliance, a letter will be sent to the Owner stating such, and the Review and Approval Process shall be deemed complete.

6.9 Fines. In the event any owner fails to comply with the provisions of these Design Guidelines, the Design Review Committee may recommend to the Board of Directors of the Calabrea Homeowners Association a fine for non-compliance.

7.0 CONSTRUCTION PHASE

7.1 Grading Construction may commence after Final Design Approval has been granted by the Design Review Committee and approvals have been obtained from The Calabrea Homeowners Association and the City of Phoenix. Once construction begins and the site is disturbed, it is assumed that all work will continue in a timely manner until completed and fully landscaped. In

the event a lot is graded and construction of the residence does not commence within six months, the Design Review Committee has the right to revegetate the lot at the Owner's expense. Should the construction of a residence be delayed or interrupted, the Design Review Committee may, at its sole discretion, require that all disturbed areas be revegetated pending a newly approved plan and schedule of completion.

7.2 Construction Trailers and Portable Field Offices Any Owner or Builder who desires to bring a construction trailer or field office to Calabrea shall first apply for and obtain written approval from the Design Review Committee. To obtain such approval, he shall submit a copy of the Site Plan with proposed locations of the construction trailer or office, the portable toilet and the trash receptacle noted thereon. Such temporary structures shall be located within the disturbable area of the lot and shall be removed upon completion of construction.

7.3 Debris and Trash Removal At the end of each day, the Builder shall clean the construction site. Trash and debris shall not be permitted to accumulate. Lightweight material packaging, and other items shall be covered or weighted down to prevent them from being blown off the construction site. Builders are prohibited from dumping, burying, or burning trash anywhere in the Subdivision. During construction, each site shall be kept neat and clean, and shall be properly policed to prevent it from becoming a public eyesore. In the event the Design Review Committee is required to clean up the lot, and surrounding area, the lot owner shall be charged.

7.4 Sanitary Facilities Each builder shall be responsible for providing adequate sanitary facilities for his construction workers. Portable toilets or similar facilities shall be located within the disturbable area of the lot as approved by the Design Review Committee.

7.5 Vehicles & Parking Areas Vehicles and machinery shall be parked within the disturbable area of the lot or in areas designated by the Design Review Committee. **Construction crews shall not park on, or otherwise use, other lots or any open space.** All vehicles shall be parked so as not to inhibit traffic. **Homeowner may be subject to fines.**

7.6 Conservation of Landscaping Materials Builders are to be advised that the lots and open spaces of Calabrea contain valuable native plants and other natural features such as topsoil, rock outcroppings and boulders that must be protected during construction.

7.7 Excavation Materials Excess excavation materials must be hauled away from the Subdivision.

7.8 Blasting Each Owner and their Builder must take full responsibility for all blasting including obtaining all necessary blasting permits. All applicable codes, ordinances and regulations must be adhered to by the Builder.

7.9 Restoration or Repair of Damage to Other Property Damage and scarring to other

property including, but not limited to, open space, other lots, roads, driveways, curbs, gutters, and/or other improvements resulting from construction operations will not be permitted. If damage occurs, it must be repaired and/or restored promptly. Should the Owner fail to repair any damage, the Design Review Committee will cause the remedial work to be undertaken by others at the expense of the Owner.

7.10 Miscellaneous and General Practices All Owners will be responsible for the conduct and behavior of their agents, representatives, builders, contractors and subcontractors while on the premises of Calabria. The following practices are prohibited:

- Changing oil on any vehicle or equipment on the site.
- Allowing concrete suppliers, plasterers, painters or any subcontractors to clean their equipment at locations not specifically designated for that purpose by the Design Review Committee.
- Removing any rocks, plant material, topsoil, or similar items from other property within Calabria.
- Carrying any type of firearms.
- Careless disposition of cigarettes and other flammable material. At least one 10-pound ABC-rated dry chemical fire extinguisher shall be present and available in a conspicuous place on the construction site at all times.
- No pets may be brought into Calabria by construction personnel. In the event of any violation hereof, the Design Review Committee shall have the right to contact City of Phoenix or Maricopa County authorities to impound the pets, refuse to allow the Builder or Subcontractor involved to continue work on the project or to take such other action as may be permitted by law.

7.11 Construction Access The only approved construction access during the time a residence or other improvement is under construction will be over the approved driveway location for the lot, unless the Design Review Committee approves an alternative access route. In no event shall more than one construction access be permitted on any lot.

7.12 Dust and Noise The Builder and Owner shall be responsible for controlling dust, noise and music from the site.

7.13 Construction Signage Temporary construction signs shall be limited to one sign per site, not to exceed eight square feet of total surface area. The sign shall be free-standing, properly secured into the ground, and its design and location shall be subject to approval by the Design Review Committee.

7.14 Daily Operation Daily working hours for each construction site shall be from 30 minutes before sunrise to 30 minutes after sunset unless other hours are designated in writing by the Design Review Committee.

7.15 Occupational Safety and Act Compliance (OSHA) All applicable OSHA regulations and guidelines must be strictly observed at all times.

5.8 Artificial Grass Requirements: Artificial grass must be made in the USA. Pile /Face weight must be 70 oz, Machine gauge 1/2 inch, Tufted pile height of 2 in. Must have brown thatch included (polyethylene) Type: Monofilament. Homeowner must submit the architectural application with all the details specified and provide the board with a grass sample to review.

Exhibit "A"
APPROVED PLANT LIST
TREES

Acacia abyssinica	Abyssinian acacia
Acacia craspedocarpa	Leather leaf acacia
Acacia farnesiana	Sweet acacia
Acacia pennatula	Fern leaf acacia
Acacia shaffneri	Twisted acacia
Acacia smallii	Sweet acacia
Acacia stenophylla	Shoestring acacia
Acacia willardiana	White bark acacia
Acacia wukkaradubba	Palo blanca/Acacia blanco
Albizia julibrissin	Silk tree/Mimosa
Artemisia pychocephala	Banohill saoe
Caesalpinia cacalaco	Caesalpinia cascalote
Celtis pallida	Desert hackberry
Celtis reticulata	Canyon hackberry
Ceratonia siliqua	Carob/St. John's bread
Cercidium floridum	Blue palo verde
Cercidium microphyllum	Foothills palo verde
Cercidium praecox	Palo brea
Chamaerops humilis	Mediterranean fan palm
Chilopsis linearis	Desert willow
Jacaranda mimosafolia	Jacaranda
Lysiloma thornberi	Fern of the desert
Olneya tesota	Desert ironwood
Prosopis alba	Mesquite
Prosopis chilensis	Chilean mesquite
Prosopis juliflora	Honey mesquite
Prosopis velutina	Arizona mesquite
Rhus lancea	African sumac
Sophora secundiflora	Texas mountain laurel
Vauquelina californica	Arizona redwood
Vitex agnus-castus	Chaste tree

GROUNDCOVER

<p> Aloe saponaria (red) Antionon leptopus Aspidistia elatior Atriplex sernibaccata Baccharis centennial Baccharis pilularis Baileya multiradiata Carissa grandiflora 'boxwood beauty' Convolvulus mauritanicus Dalea greggii Eriogonum fasciculatum Ficus pamilave repens stipulat Gazania rigens Hardenbergia violacia Lantana camara 'radiation' Lantana montevidensis Melampodium leucanthum Myoporum parvifolium Penstemon eatonii Santolina chamaec. 'parissus Santolina virens Sphaeralcea species Verbena peruviana Verbena tenuisecta </p>	<p> Africa) aloe/Starfish aloe Queens wreath/Coral vine Cast iron plant Australian saltbush Dwarf coyote bush Twin peaks/Coyote bush Desert marigold Natal plum Ground morning glory Trailing indigo/trailing smoke bush California buckwheat Creeping fig Pied gazania/Treasure flower Lilac vine Radiation lantana/Bush lantana Trailing or weeping lantana Blackfoot daisy Sandlewood Firecracker penstemon (scarlet) Gray santolina Green santolina Globe mallow Peruvian verbena Moss verbena\purple verbena </p>
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SUCCULENTS\CACTI

<p> Agave Carnegiea gigantea Dasyilirion wheeleri E. engelmannii E. triglochidiatus Echinocactus engelmannii Echinocactus grusonii Ferocactus sp. Fouquieria splendens </p>	<p> Agave Saguaro Desert spoon Common hedgehog cactus Rainbos hedgehog Strawberry hedgehog Golden barrel cactus Barrel cactus Ocotillo </p>
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NATIVE PLANT LIST

Ambrosia deltoidea
Baileya multiradiata
Carnegiea gigantea
Cercidium floridum
Encelia farinosa
Ericamera lauriscifolius
Fouquieria splendens
Ferocactus acanthodes
Larrea tridentate
Olneya tesota
Prosopis velutina

Bursage
Desert Marigold
Saguaro
Blue palo verde
Brittlebush
Turpentine bush
Ocotillo
Compass barrel cactus
Creosote bush
Ironwood
Arizona mesquite

EXHIBIT "B" PROHIBITED PLANTS

Calabrea, in an attempt to conserve water and the Southwest flavor of the project, will prohibit the use of water consumptive plants when utilized in mass or where they conflict with the desert character of the project. As discussed throughout the text, use of drought resistant materials is encouraged.

Certain shrubs and groundcovers may also be discouraged because of their character or watering requirements.

The Design Review Committee, at their discretion, may impose restrictions on varieties of plantings because of character, water consumption, excessive maintenance, and/or pollen production.

PROHIBITED PLANT LIST

1. Any tree or shrub whose mature height may reasonably be expected to exceed 20 feet, with the exception of those species listed in Appendix A is prohibited.
2. All palms are prohibited. Dwarf varieties whose mature height may reasonably be expected to be less than 6 feet will be allowed in the private area.
3. All pines, cypress, false cypress, juniper and cedar trees are prohibited. Dwarf varieties, and plants whose mature height may reasonably be expected to be less than 6 feet will be allowed in the private area.
4. Olive trees are prohibited.
5. Oleanders are prohibited. Dwarf varieties will be allowed in the private area.
6. Fountain grass is prohibited.
7. All varieties of citrus are prohibited. Dwarf varieties will be allowed in the private area.
8. Common Bermuda grass is prohibited. Turf areas are permitted within the private area but are limited to hybrid varieties that will not reproduce.
9. Mexican palo verde trees are prohibited.
10. All varieties of mulberry are prohibited.