

FOOTHILLS CLUB WEST COMMUNITY ASSOCIATION, INC.  
**AMENDED AND RESTATED ARCHITECTURAL GUIDELINES**

Approved October 17, 2013

(FOR LOTS WITH EXISTING DWELLING ALREADY  
CONVEYED TO A NON-DEVELOPER OWNER)

ARCHITECTURAL REVIEW PROCESS

In accordance with the Declaration of Covenants, Conditions and Restrictions for Foothills Club West (the "Declaration"), the Board of Directors has adopted the following Guidelines for Architectural Improvements (the "Guidelines"), which shall apply to all Lots within Foothills Club West.

Each Lot owner should read, review and make himself acquainted with the Declaration and Tract Declaration recorded on his Lot with Maricopa County (the "Tract Declaration") and with these Architectural Guidelines as the same may be amended from time to time by the Board of Directors. These documents are intended to enhance property values and the high standards of development that exist within Foothills Club West. The Guidelines are established to assist residents in preparing an application to the Architectural Committee for structural and landscape improvements. FOLLOWING THESE GUIDELINES DOES NOT ELIMINATE THE NEED FOR SUBMISSION OF PLANS FOR APPROVAL BY THE ARCHITECTURAL COMMITTEE. Even if your addition or alteration is identical to another which has been approved, it must be submitted for approval. Because each situation may have difference conditions, e.g., different locations, physical conditions or design considerations, etc., each application will be reviewed on a case-by-case basis. In the event of any inconsistency between these Guidelines and the Declaration, the Declaration shall control. All architectural approvals will be conditioned upon compliance with applicable city codes.

APPLICATION PROCEDURE

Submittal –

Application and plans (which will be kept on file) should be mailed to:

Foothills Club West Community Association  
c/o VISION Community Management  
16625 S Desert Foothills Parkway  
Phoenix, AZ 85048  
Fax to 480-759-8683  
Email to FCW@WeAreVision.com

The following information should be included:

1. **Application Form** – A completed application form (copies of which can be obtained from the management office or Web site).
2. **Plot Plan** – A site plan showing dimensions of the lot, the dimensions of the existing dwelling in relation to the lot, and the dimensions of the proposed addition in relation to the existing dwelling and property lines (setbacks). Measurements must be written on the plans. An accompanying photograph of the proposed location would be helpful as well.
3. **Elevation Plan(s)** – Plans showing finished appearance of the proposed addition in relation to existing dwelling. An accompanying photograph of the proposed addition (if available) would be helpful.
4. **Specifications** – Detailed description of materials to be used and color samples must be submitted.

Please refer to the specific guidelines set forth in these Architectural Guidelines and those in the Landscape Guidelines for further detail on what to include with your plans.

All buildings and structures erected within Foothills Club West and the use and appearance of all land within Foothills Club West, shall comply with all applicable City of Phoenix zoning and code requirements as well as the Declaration, the Tract Declaration and these Guidelines. ***All buildings and structures erected within Foothills Club West must also meet a minimum setback requirement of five (5) feet from all block walls.***

#### Review – Approval and/or Disapproval –

The Architectural Committee shall have 45 days after submittal of plans to approve or disapprove the plans.

Review and approval or disapproval will include, but not be limited to, consideration of material, quality of workmanship, colors, consistency with the external design and color of existing structures on the lot and on neighboring lots. The location of the improvement with respect to topography and finished grade elevation will also be considered.

Neither the Architectural Committee, nor the Board, nor the Declarant shall have any liability in connection with or related to approved plans, specifications or improvements. The approval of the plans does not mean that judgment is passed on the structural soundness of the addition nor its effect upon existing or future drainage. The review of the plans is for aesthetic purposes only. ***The Board of Directors retains the right to re-evaluate any architectural modification that creates a nuisance.***

Approval Expiration – Construction must be started within 90 days of the approval date or the plans must be resubmitted.

Construction Period – The Association expects continuing progress toward completed construction within six months.

Appeal –

Any appeal of the Architectural Committee's decision must be submitted in writing to Foothills Club West Community Association, c/o Vision Community Management (16625 S Desert Foothills Parkway | Phoenix AZ 85048), within 30 days following the date of mailing of the Architectural Committee's decision.

A \$25.00 fee may be charged for any re-submittals due to illegible or incomplete submittals.

## **GUIDELINES**

### **ANTENNAS, POLES, TOWERS AND DISHES**

Refer to the Tract Declaration recorded on your subdivision for specific provisions. In summary, no antenna, satellite dish, pole, or tower will be permitted that is visible to surrounding properties. In all other cases, plans for the location and concealment of an antenna, pole or tower must be submitted to and approved by the Architectural Committee.

For antennas not regulated by the FCC, larger than one meter in diameter, Antenna concealment guidelines are as follows:

- The highest point of the satellite dish must be no higher than 12 inches below the lowest fence elevation.
- The Architectural Committee reserves the right to conduct a final inspection and stipulate any further requirements to screen the dish according to the Declaration and the Tract Declaration.

The Association's preference for location of receivers regulated by the FCC, one (1) meter or less in diameter, in descending order, is as follows:

1. A location in the back yard of the Lot where the Receiver will be screened from view by landscaping or other improvements;
2. An unscreened location in the back yard of the Lot;
3. On the roof, but below the roof line;
4. A location in the side yard of the Lot where the Receiver and any pole or mast will be screened from view by landscaping or other improvements;
5. On the roof above the roof line;
6. An unscreened location in the side yard;

7. A location in the front yard of the Lot where the Receiver will be screened from view by landscaping or other improvements. Notwithstanding the foregoing order of locations, if a location stated in the above list allows a Receiver to be placed so as not to be Visible From Neighboring Property, the Association would prefer such location be used for the Receiver rather than a higher-listed location at which the Receiver would be Visible From Neighboring Property, provided such location will not unreasonably delay or prevent installation, maintenance, or use of the Regulated Receiver, or preclude the reception of an acceptable quality signal.

## AWNINGS

Awnings must be approved by the Architectural Committee. Awnings over windows shall be (a) canvas, (b) a solid color matching the exterior body or roof color on the home, (c) the same color on the inside and exterior face, and (d) installed only on the side and rear of the home. A minimum five-year guarantee is expected from the manufacturer to insure a high quality awning. Owner is responsible for maintenance and repair of awnings. Association retains the right to determine when an awning must be repaired and/or replaced due to weathering, fading, tearing, ripping, etc.

Submit: The manufacturer, sample color swatch, type, and number of years' guarantee for approval prior to installation. All awning submittals must include a drawing with the location of the proposed awning installation. A sample of the material used, along with the color and design of the proposed awning is required.

## BASKETBALL GOALS OR SIMILAR STRUCTURES

Unless in conflict with your recorded Tract Declaration, these guidelines will apply.

Basketball goals will be considered for approval provided that they are located in the rear yard within the confines of the rear yard perimeter fence and meet the following guidelines.

- Goals must be at least five feet from the rear fence.
- Goals must be at least 10 feet from any part of the house, including patio covers and bay windows on houses that have no patio covers.
- Goals must be at least five feet from all side fences and within a line extending from the side walls of the house to the rear yard fence.

- All goals must be maintained in a quality condition that will not detract from the high quality of the community.
- The Architectural Committee may on a case-by-case basis approve an installation outside of these guidelines. For example, exceptions may be considered because of an irregular shaped lot or because of the placement of the dwelling upon the lot.
- **Portable and/or temporary basketball goals** may be utilized, but must be stored from view of common areas and/or neighboring properties when not in use.

## CHILDREN'S PLAY STRUCTURES

Plans for children's play structures must be submitted for approval because in most instances they protrude over the fence. This requirement is not intended to preclude play structures, but to assure that nothing unsightly is erected.

- The maximum height which will be considered for approval for pool ladders, swing sets and jungle gym equipment shall be eight feet, excluding the awning.
- Wood may remain natural or must be painted to match the dwelling in color.
- Canvas awnings must be of a color blending with the color of the dwelling stucco. All other colors to be reviewed by the architectural committee.
- The play structure can be placed no closer than five feet to the fence.
- The structure must be kept in a quality condition that will not detract from the high quality of the community.

## CONCRETE ADDITIONS TO FRONT YARD LANDSCAPING

The following is a discussion of varying types of concrete additions to front yard landscaping. Any addition must be pre-approved by the Foothills Club West Community Association Architectural Committee and approval must be received by the homeowner before any work may be initiated.

Driveway expansion will be considered for approval provided the combined width of existing driveway plus the proposed expansion does not exceed fifty percent (50%) of the total width of the front yard, when measured from the widest section of the driveway

with expansion. Landscaping must be part of the plan submittal showing where and what will be added to soften the look of the concrete. The expanded driveway may be no closer than 18 inches to the side lot line or 12 feet to the side lot line if it is adjacent to a street. Plans must include:

Plot plan and specifications showing:

- All the dimensions of front of the lot (total area not enclosed by the rear yard perimeter fence).
- Measurements of existing driveway.
- Measurements of paved surface.
- Measurements of space between paved surfaces where applicable.
- Landscaping to be installed to soften the look of the concrete (refer to "Trees and Shrubs" in the Landscaping Guidelines).
- Whether or not the curb adjacent to the proposed paved surface is a rolled curb or L-shaped curb.
- All building materials and colors to be used.

No parking shall be permitted on a driveway expansion when within five (5) feet of the property line or when space in the existing driveway is available.

See Exhibits 2 through 5 attached for guidelines when planning concrete additions.

#### Patio Area

A concrete slab may be installed in the front yard with the following guidelines:

- Area may not exceed more than 25% of front yard area.
- Distance between front of area and sidewalk must be no less than 15 feet.
- Any seating items must be submitted for approval by including a picture of items. (See next page – Decorative Items)
- It shall be the responsibility of the homeowner(s) to ensure that the additional concrete complies with the drainage guidelines provided by their builder.
- Plans must be submitted to the Foothills Club West Community Association Architectural Committee and approval must be received by the homeowner before any work may be initiated.

#### Driveway Aprons

Driveway aprons may be installed with the following guidelines:

- Each Apron shall be no more than two feet in width.
- Installation may be installed along each side of the original driveway and the length of the original driveway.
- It shall be the responsibility of the homeowner(s) to ensure that the additional concrete complies with the drainage guidelines provide by their builder.

- Plans must be submitted to the Foothills Club West Community Association Architectural Committee and approval must be received by the homeowner before any work may be initiated.

(See Exhibit 2 for reference)

#### Pathway to Single Side Yard Gate

Concrete walkways from the driveway to the Single Side Gate may be installed with the following guidelines:

- Width is not to exceed three (3) feet and must be no closer than 12 inches from the property line.
- Concrete material and color must match existing driveway.
- It shall be the responsibility of the homeowner(s) to ensure that the additional concrete complies with the drainage guidelines provided by their builder.
- Plans must be submitted to the Foothills Club West Community Association Architectural Committee and approval must be received by the homeowner before any work may be initiated.

(See Exhibit 3 for reference)

#### Driveway Addition for Side RV-Gate Access

Driveway extensions will be reviewed on an individual basis with strong consideration of any impact on the architectural features of the neighborhood.

The following are guidelines for the design of a driveway extension for access to RV Side Gate:

- The extension shall be no closer than 18 inches from the property line.
- At back of curb, the concrete addition to the existing driveway will be no more than four (4) feet.
- At the mid-point expansion joint in the existing driveway, the concrete addition will be no more than six (6) feet.
- The width of the addition will at no time exceed eight (8) feet.
- The curb must be a roll-top curb, not L-shape.
- Building material and color will match existing driveway.
- All remaining areas must be landscaped.
- It shall be the responsibility of the homeowner(s) to ensure that the additional concrete complies with the drainage guidelines provide by their builder.
- Plans must be submitted to the Foothills Club West Community Association Architectural Committee and approval must be received by the homeowner before any work may be initiated.

(See Exhibit 4 for reference)

Concrete Addition for Side RV-Gate Access Not Attached to Existing Driveway

Driveway extensions will be reviewed on an individual basis with strong consideration of any impact on the architectural features of the neighborhood.

The following are guidelines for the design of a concrete drive for Side RV Gate Access that will not be attached to existing driveway:

- The extension shall be no closer than 18 inches from the property line.
- There will be a minimum of three (3) feet of landscaped area between the existing driveway and the addition.
- The width of the addition will at no time exceed eight (8) feet.
- The curb must be a roll-top curb, not L-Shape curb.
- Building material and color will match existing driveway.
- All remaining areas must be landscaped.
- It shall be the responsibility of the homeowner(s) to ensure that the additional concrete complies with the drainage guidelines provided by their builder.
- Plans must be submitted to the Foothills Club West Community Association Architectural Committee and approval must be received by the homeowner before any work may be initiated.

(See Exhibit 5 for reference)

DECORATIVE ITEMS (INCLUDING, BUT NOT LIMITED TO, BENCHES AND OTHER SEATING ITEMS, FOUNTAINS/WATER FEATURES, LIGHT POLES AND ORNAMENTAL STATUARY, ETC.)

Fountains/water features will be considered for approval with the following provisions:

- Except as approved by the Architectural Committee no fountain shall be placed or maintained nearer to the front property line than the walls or attached open porch of the dwelling erected on the Lot.
- The maximum height is five feet.
- It is recommended that the water be chlorinated.
- It is the obligation of the owner to keep the fountain well maintained and in good operating condition.

Benches and other seating items will be considered for approval with the following provisions.

- The maximum height may not exceed four (4) feet.



Other decorative items including but not limited to ornamental statuary, artistic work, craft work, figurine or ornamentation of any kind must be located in the rear yard and screened from view of neighbors, streets and common area, unless approved by the Architectural Committee in writing.

For further information on lighting, please reference the Landscaping Guidelines.

## FENCES AND WALLS (INCLUDING DECORATIVE WALLS)

Plans for new fences or walls or additions to existing structures must be submitted to the Architectural Committee for approval prior to construction. (This includes decorative walls). No fence shall exceed six feet in height when measured from original grade, and fences closer to the front lot line than the walls of the dwelling may not exceed three (3) feet in height, unless approved in writing by the Committee.

Stucco and paint must match the existing dwelling in texture and color or the color and texture of the existing fence, if the wall is an extension of an existing perimeter fence wall. Block walls must be painted to match the main body color of the home and must be one color.

## FLAGS AND FLAGPOLES

As used herein, the term "flagpole" shall mean a pole or staff of wood or metal for display of the American Flag, whether such pole or staff is horizontal or vertical, free-standing or attached to a structure.

All provisions of the Federal Flag Policy must be adhered to.

The American Flag may only be displayed from sunrise to sunset unless appropriate lighting is installed which properly illuminates the flag without disturbing the quiet use and enjoyment of neighboring properties. If an Owner wishes to illuminate the flag, the Owner must submit, in writing, a request to install lighting to illuminate the flag along with the lighting plans and specifications to the Architectural Committee prior to illuminating the flag.

Prior to installing a flagpole on any Lot, the Owner of said Lot must, in writing, submit a request including specific plans detailing the height, type, location, method of installation, and color of the flagpole to the Architectural Control Committee for approval.

Only one (1) flagpole of any type is allowed on a Lot.

The height of a flagpole can be no greater than the distance between the point of placement of the pole in the yard and the closest point of either of the following:

1. the sidewalk or the street if no sidewalk;
2. any common area; or
3. any neighbor's property line.

The Association only permits display of the American Flag as a cloth flag, on a flagpole/staff. For example, it may not be displayed by attaching flat to a wall or flat on the inside or outside of a window, or hanging from eaves or on a garage door. Nor is any other type of American "flag" permitted, such as "flags" made solely out of lights or paint or other materials.

There shall be no more than one (1) American flag displayed at any one time, and no flag shall be disproportionately large. An Arizona Flag or a flag representing one of the five United States military branches may also be displayed, provided their display is in accordance with the Federal Flag Policy.

The American Flag may not be placed on Common Area without the express written permission of the Board of Directors.

Hardware on the flag/flagpole must not create noise, which disturbs the quiet use and enjoyment of neighboring properties.

One decorative flag will be allowed for holidays provided it is displayed no sooner than 40 days prior to the holiday and is removed promptly thereafter.

Flags displaying sport teams may only be displayed on weekends.

Association retains the right to determine when a flag must be repaired, removed and/or replaced due to weathering, fading, tearing, ripping, etc.

If a homeowner stops displaying a flag on their flagpole for 30 days or more, the flagpole must be removed.

## GATES

Double gates may be installed at Foothills Club West to allow wider access ways to back yards. Double gates should be of the same type, design and color as the originally installed single gates. Shrubs, trees or other plants should be located between the house and the double gates, where possible.

The installation of gates from individual residential lots to the hillside areas, South Mountain Park, golf course, Common Area or in a perimeter fence

adjacent to a street running along side a lot where there are neighboring lots with front yards facing that street is prohibited.

When gates are in need of maintenance, homeowners with wood gates must paint them to match their fence or may stain the wood in its natural color and homeowners with wrought iron gates with wood insets must paint the wrought iron black or to match their fence and may maintain the wood in its natural color.

#### GOLF COURSE LOTS AND OTHER LOTS WITH REAR YARD SIDE FENCE VIEW PANELS

Except for lots within Sunset Canyon and Silver Ridge, no structures whatsoever are permitted within the rear ten feet of lots where view panels are installed in the side fence, without first obtaining architectural approval.

Pool equipment will not be approved for installation in this location.

Concerning golf course lots within Sunset Canyon and Silver Ridge the erection of nets designed and situated on the lots to prevent personal injury and property damage from stray golf balls is not prohibited. No such net structure may be constructed without first obtaining architectural approval, including appropriate submittals consistent with these guidelines. (See Figure 6 for reference)

#### GUTTERS AND DOWNSPOUTS

Gutters and downspouts may be considered for approval. The finish on same must match the dwelling in color. High-quality materials that offer long life are recommended as the homeowner will be required to maintain the addition in good repair. Plans must include:

- The proposed locations of the gutters and downspouts.
- The quality of materials to be used.
- Warranty by the manufacturer.
- The name and telephone number of the installer.

#### HEATING, VENTILATING AND AIR CONDITIONING UNITS (INCLUDES EVAPORATIVE COOLERS)

All units must be ground mounted. Specific provisions are included in the Tract Declaration.

## MACHINERY AND EQUIPMENT

No machinery, fixtures, or equipment of any type, including, but not limited to, heating, cooling, air conditioning, refrigeration equipment, and clotheslines, may be placed on any Lot or parcel without screening or concealment from view of non-residential neighboring property or public property. Oil pans, carpet, boards or any other object used to collect oil spills from driveways must be concealed from view when not in use.

## PATIO COVERS

Plans for patio covers will be considered for approval. The following minimum standards are suggested:

### Partial Shade Covers –

Horizontal shading members: minimum 2 x 2 rough sawn, with a maximum overhang of 6 inches past a support.

Horizontal support members: minimum 4 x 6 rough sawn or double 2 x 6 members.

Vertical support members: minimum 4 x 4 rough sawn.

Color: to match existing trim.

### Solid Patio Covers –

Flat roof pitch less than 1":12" must have a built-up roof application in a color to match the existing roof tile. San Tan Roofing installed Brai roofing on the UDC Homes built within Foothills Club West. This type of built-up roof or its equivalent is acceptable. Asphalt shingles (including rolled shingles) are expressly prohibited.

Sloped patio cover with a pitch of 4":12" or more shall have tile to match existing dwelling.

## POOL AND SPAS

Pools and spas need not be submitted for approval unless:

- The rear lot has any open fencing, e.g., wrought iron view panel sections.
- A pool accessory will be included that exceeds the height of the perimeter fence, e.g., pool slide, water feature, etc.

- The pool company recommends access through a fence wall that is a party wall between the owner and the Association., e.g., the Association maintains the exterior of the wall. In all cases access through the front wall on the side of the house which is owned and maintained solely by the homeowner is preferred. Before a “party” wall with the Association can be removed, a deposit and written approval by the Association is required.
- You comply with all City of Phoenix ordinances including those on fencing and backwashing.

Pool plans must include the following:

- The location of the pool on the Lot.
- The finished floor height(s) of your pool deck.
- The location and proposed concealment of the pool equipment from the golf course and/or neighboring lots. (If not concealed by a solid rear yard perimeter fence and gate, equipment must be concealed by a block fence completed to match the existing perimeter fence in texture and color. Pool equipment placed no closer to the rear of the lot than the walls of the existing dwelling may be concealed by plantings.)
- A plot plan identifying which sections of the rear yard fence are sold and which sections have open fencing. (Note: refer to GOLF COURSE LOTS AND OTHER LOTS WITH REAR YARD SIDE FENCE VIEW PANELS).

## RAMADAS AND SIMILAR STRUCTURES

These shall be limited to single story structures. No upper decks will be allowed. Structure design shall be harmonious with dwelling and exterior landscape.

Structures shall be considered for approval provided they do not exceed twelve (12) feet six (6) inches in height above approved finished floor, are placed no closer than five (5) feet to any fence, and do not violate any provisions of the recorded Declarations on the subdivision.

## RE-PAINT PROCEDURE

There are new colors available for each community, these colors can be found on the Foothills Club West website ([www.wearevision.com](http://www.wearevision.com)) in the Community Documents section.

Color changes to the home must be submitted and approved by the Architectural Committee prior to the work being performed. The Architectural Change Form can be obtained from the documents section of the website or by contacting the Management

Company. After your application has been reviewed, you will be notified in writing of the committee's decision.

Homes in The Vistas I, The Vistas II, Fairway Hills and Tapestry may only be painted colors from the original builder color pallet. Please contact management for this information.

## SECURITY/SCREEN DOORS

Security doors/screen doors will be considered for approval. When considering security or screen doors for approval, the committee will be concerned about the quality of the door, its color and design and its ability to blend with the color of the original dwelling door. It would not be considered desirable if the door was so ornate or cluttered that it was the first thing that you would notice when you looked at the home. The Association will allow character designs on doors provided they are in good taste and they do not exceed one character per door. (See Exhibit "B") Owner must submit the following information for approval consideration:

- Frame design and color
- Door screen color
- Color of the existing dwelling door

## SIGNS

No signs which are visible from streets or neighboring property shall be erected or maintained on any Lot except signs required by legal proceedings, two identification signs for individual residences, each with a face area of 72 square inches or less, and "for sale" and "for lease" signs, which have been approved in advance by the Architectural Committee. Landscaping, pool signs, etc. must be removed when the work is complete.

A maximum of one (1) standard, professionally constructed "For Sale" or "For Lease" sign may be posted on any lot.

Placement of "For Sale" or "For Lease" signs on perimeter theme walls or golf course fences within Foothills Club West is prohibited.

The only signs permitted are those approved in writing by the architectural committee and those approved by Arizona Law.

## SOLAR PANELS

The preferred location for all panels and equipment is within the confines of the rear yard, concealed by a solid fence. If this is not possible, plans must include the following:

- Dimensions of panels.
- Dimensions of surface on which panels are to be installed.
- Location of the portion of the surface on which the panels are to be placed.
- Positioning of the panels on the surface.
- Photo or brochure showing the appearance of the panels and the materials and color of which they are constructed.
- Location of plumbing and what steps will be taken to conceal it.
- Explanation of why the panels cannot be installed in a less visible location.

## STORAGE SHEDS OR STRUCTURES

Prefabricated storage buildings are prohibited. Plans for buildings which match the construction of the dwelling will be considered for approval, and must meet all of the following requirements:

1. The storage building shall be stuccoed and painted to match the dwelling on the same Lot;
2. The roof of the storage building shall be tiled to match the roof of the dwelling on the same Lot;
3. The storage building shall be no higher than eight (8) feet at its highest point;
4. The storage building shall comply with all laws, ordinances and regulations (including, but not limited to, City set back requirements);
5. The storage building shall not be attached at any point to any fence (including any block wall fence).

## SUN SCREENS AND WINDOW TINTING

Clear aluminum (silver colored) screen material is prohibited, as are silver aluminum screen doors.

Bronze, charcoal, almond/beige or gray sunscreen material may be installed. The frame for window screens must match the existing window frames. As long as this guideline is met and the sunscreens are of high quality and professionally installed, a sunscreen request form need not be submitted for approval.

Reflective window films are expressly prohibited. Bronze or charcoal non-reflective window tinting may be installed.

Sunscreens that are faded or damaged must be removed and/or replaced.

#### HOLIDAY LIGHTS AND DECORATIONS

Christmas lights and decorations shall be removed by January 15<sup>th</sup>. All other holiday decorations shall be removed no later than 14 days from the date of the respective holiday.

THESE ARCHITECTURAL GUIDELINES MAY BE AMENDED BY THE ARCHITECTURAL COMMITTEE FROM TIME TO TIME.



FOOTHILLS CLUB WEST COMMUNITY ASSOCIATION, INC.  
AMENDED AND RESTATED ARCHITECTURAL GUIDELINES  
**LANDSCAPING**

All landscaping plans for front yards must be approved by the Architectural Committee prior to installation. Due to their visibility, Lots with open view fence panels in the rear yard (including, but not limited to Lots adjacent to the golf course) must submit both front and rear yard landscaping plans. This includes the installation of all trees, shrubs, ground covers (including turf) and hardscape materials. Architectural Committee approval of said plans must be obtained prior to installation.

Front yard landscaping on all Lots must be installed within 180 days from the close of escrow. Rear yard landscaping on all lots with open view fencing (including, but not limited to Golf Course lots) must be installed within 180 days from the close of escrow.

### PROCESS

#### Landscape Plan Review and Approval

All required landscape plans must be submitted for review within 90 days of the closing date. Landscape plans must identify the names and proposed locations of all trees, shrubs, ground cover, granite and turf, etc. Plans for hardscape elements and lighting must also be submitted. The landscape plans must be submitted for review and approval by the Architectural Committee prior to implementation.

Please refer to the specific guidelines set forth in the Architectural Guidelines and those that follow in both these Guidelines for Landscaping for further detail on what to include with your plans.

#### Construction Period

Front yard landscaping on all lots must be completed within 180 days from date of closing. Rear yard landscaping on all lots with open view panel fencing (inclusive of, but not limited to Golf Course lots) must be completed within 180 days from date of closing as well. It is recommended that back yard landscaping on all lots be installed within this time frame because construction access to the back yard is often through the front yard.

#### Recommendations on Preparing a Landscape Design Plan

It is strongly recommended that the owner retain professional services for landscape planning and design.

The Arizona Landscape Contractors Association can provide you with a list of qualified landscape professionals to assist you in individualizing your landscape design.

In all cases, the installation must comply with City of Phoenix drainage and grading requirements.

#### Corner Lots

Owners of corner Lots must landscape and maintain the area outside of the perimeter fence adjacent to the street running alongside the Lot. Landscape plans for this area must include plantings to soften the appearance of the side yard fence. Thought should be given to the height of the fence when choosing these plantings.

#### Plant Support Guidelines

- Trellis or lattice must be painted to match the color of the home.
- If higher than 6' in height, it must be submitted for approval consideration.
- Chicken wire is prohibited.

#### Trees and Shrubs

A minimum of one 15-gallon tree or a minimum of one 6-foot Saguaro and shrubbery adequate to compliment the size of the yard, limited to a minimum of 10 shrubs must be installed in the front yard landscape on each Lot. Please refer to the indigenous tree list. Shrubs must be installed on both sides of the driveway.

**No plants shall be required in the front side yard where an RV gate is installed if the distance from the driveway to the property line is 8 ½ feet or less. Front side yards, which are more than 8 ½ feet wide, must have plant materials as stated above.**

#### Turf

Turf areas shall not exceed the City of Phoenix Small Turf Ordinance as may be amended from time to time but in no case shall turf areas exceed 40 percent of the landscapable area of the same Lot.

Synthetic turf must be submitted for architectural approval prior to being installed and must meet the enclosed minimum specifications and guidelines.

## Rock Ground Cover

If decomposed granite or other landscape rock is used, it must be of an “earth tone” color and not white, green, blue, red or other bright colors. Lava rock and/or cinder rock is prohibited. All rock areas shall be treated with pre-emergent weed control at regular intervals to retard weed growth. Planting underliner is prohibited.

River run rock shall be three inches to six inches in diameter. Not more than 10 percent of the front yard landscape may be river run rock. (See Exhibit “A”)

Pre-approved colors:

- Desert Gold AKA Madison Gold
- Coral AKA Pink Coral
- Mission Red AKA Brick Red
- Cactus Shade
- Palm Gold
- Autumn Red
- Cherokee Red AKA Baja Red

The final product must not deviate substantially from the sample submitted in color size.

## Irrigation System

All turf, trees, shrubs and ground cover (exclusive of cactus) must have in-ground automatic irrigation systems.

## ASSOCIATION PLANT LIST –

To assist you in plant selection for your Lot, you may be interested in knowing the plants used for the major streets, which are maintained by the Association. They include:

<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>
<b>Trees</b>	
Acacia Rigidula	Yellow Rigid Acacia
Acacia Smallii	Sweet Acacia
Carnegiea Gigantea	Saguaro
Cercidium Microphyllum	Foothills Palo Verde
Cercidium Floridum	Blue Palo Verde
Cercidium Praecox	Sonoran Palo Verde
Eucalyptus Erythrocorys	Red Cap Gum
Eucalyptus Torquata	Coral Gum
Olneya Tesota	Desert Ironwood
Prosopis Chilensis	Chilean Mesquite
Phoenix Dactilifera	Date Palm
Bismarkia Nobilis	Bismark Blue Palm

Brahea Armata

Mexican Blue Palm

**Shrubs and Ground Covers**

Acacia Redolens  
 Bougainvillea Spectabilis  
 Caesalpinia Pulcherrima  
 Cassia Phylodinea  
 Dalea Greggii  
 Encelia Farinosa  
 Ferrocactus Wislizenii  
 Fouquieria Splendens  
 Lantana Montivedensis  
 Larrea Tridentata  
 Leucophyllum Candidum  
 Leucophyllum Candidum  
 Leucophyllum Frutescens  
 Leucophyllum Zyophyllum  
 Penstemon Parryi  
 Verbena Peruviana  
 Salvia Greggii  
 Sophora Secundiflora  
 Hesperaole Parvifolia  
 Ruelia Peninsularis

Desert Carpet Acacia  
 Purple Bougainvillea  
 Red Bird of Paradise  
 Silvery Cassia  
 Spreading Dalea  
 Brittle Bush  
 Barrell Cactus  
 Ocotillo  
 Trailing Purple Lantana  
 Creosote Bush  
 Texas Ranger 'Silver Cloud'  
 'Green Cloud' Texas Sage  
 'Silver Cloud' Texas Sage  
 'Blue Cloud' Texas Sage  
 Penstemon  
 Purple Verbena  
 Cherry Salvia  
 Texas Mountain Laurel  
 Red Yucca  
 Desert Ruella, Blue Ruella

**Decomposed Granite  
 Turf**

'Desert Gold' ¾" minus  
 Bermuda Hybrid 'Midiron'

Residential Plant List

The Architectural Committee has found that the plants included in the following list are compatible with the natural desert environment of Foothills Club West and encourage their use. Any species not contained herein may not be planted or installed within Foothills Club West without written approval of the Architectural Committee.

	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>
Indigenous Plants	Acacia Greggii	Catclaw Acacia
	Ambrosia Deltoidea	Bursage
	Beloperone Californica	Chuparosa
	Echinocereus Englemannii	Hedgehog Cholla
	Encelia Farinosa	Brittle Bush
	Ephedra Trifurca	Morman Tea
	Ferocactus Wislizenii	Barrell Cactus
	Fouquieria Splendens	Ocotillo

Compatible Trees

Haplopappus Laricifolia  
Holocantha Emoryi  
Hyptis Emoryi  
Simmondsia Chinensis  
Krameria Grayi  
Larrea Tridentata  
Lycium Andersonii  
Lycium Fremonti  
Olneya Tesita  
Opuntia Acanthocarpa  
Opuntia Bieglovii

Turpentine Bush  
Crucifixion Thorn  
Lavender  
Jojoba  
White Ratany  
Creosote Bush  
Anderson Lycium  
Wolfberry  
Ironwood  
Staghorn Cholla  
Teddy Bear Cholla

Acacia Abyssinica  
Acacia Aneuria  
Acacia Cavenia  
Acacia Constricta  
Acacia Eburnia  
Acacia Farnesiana  
Acacia Millefolia  
Acacia Pennatula  
Acacia Occidentalis  
Acacia Schaffneri  
Acacia Stenophylla  
Acacia Willardiana  
Acacia Salicina  
Arecastrum Romanzoffianum  
Caesalpinia Cacalaco  
Caesalpinia Platyloba  
Caesalpinia Pumila  
Celtis Pallida  
Celtis Reticulata  
Cercidium Praecox  
Chilopsis Linearis  
Lysiloma Candida  
Lysiloma Thornberi  
Phoenix Palmae  
Phoenix Roebelenii  
Pithecellobium Brevefolium  
Pithecellobium Flexicaule  
Pithecellobium Mexicana  
Pittosporum Phillyraeoides  
Prosopis Alba  
Prosopis Juliflora  
Prosopis Pubescens  
Rhus Ovata

Abyssinian Acacia  
Mulga  
Caravan Acacia  
Whitethorn Acacia  
Needle Acacia  
Sweet Acacia  
Santa Rita Acacia  
Weeping Acacia  
Hackberry Acacia  
Twisted Acacia  
Shoestring Acacia  
White Bark Acacia  
Weeping Acacia  
Queen Palm  
Yellow Bird of Paradise  
Bird of Paradise  
Copper Bird of Paradise  
Desert Hackberry  
Netleaf Hackberry, Palo Blanco  
Palo Brea, Sonoran Palo Verde  
Desert Willow  
Palo Blanco  
Fern of the Desert  
Date Palm  
Pigmy Date Palm  
Apes Earring  
Texas Ebony  
Mexican Ebony  
Willow Pittosporum  
White Mesquite, Argentine Mesquite  
Honey Mesquite  
Fremont Screwbean  
Sugar-bush

Schinus Terebinthifolius  
Bismarkia Nobilis  
Brahea Armata  
Cycas Revoluta

Brazilian Pepper  
Bismark Blue Palm  
Mexican Blue Palm  
Sago Palm

#### Compatible Shrubs

Acacia Angustissima  
Acacia Craspedocarpa  
Aloysia Lycioides  
Agave Species  
Asclepias Subulata  
Atriplex Canescens  
Atriplex Hymenelytra  
Atriplex Lentiformis  
Atriplex Mulleri  
Atriplex Nummularia  
Atriplex Polycarpa  
Atriplex Rhadioides  
Atriplex Torryi  
Bererib Haematocarpa  
Buddleia Murrabufolia  
Bursera Microghylla  
Bursera Fagaroides  
Caesalpinin Gillesii  
Caesalpinia Mexicana  
Caesalpinia Pulcherrima  
Calliandra Californica  
Calliandra Eriophylla  
Calliandra Penninsularis  
Canotia Holacantha  
Cassia Artemesioides  
Cassia Biflora  
Cassia Candoleana  
Cassia Circinnata  
Cassia Goldmannii  
Cassia Leptophylla  
Cassia Nemophylla  
Cassia Philodinea  
Cassia Purpussiae  
Cassia Wislezenii  
Cercocarpus Montanus  
Clanthus Formosus  
Cardia Parviflora  
Dalea Bicolor  
Dalea Pulchra

Fern Acacia  
Leather Leaf Acacia  
White Brush  
Century Plant  
Desert Milkweed  
Four Wing Salt Bush  
Desert Holly  
Quail Bush  
Salt Bush  
Old Man Salt Bush  
Desert Salt Bush  
  
Nevada Salt Bush  
Red Bayberry  
Woolly Butterfly Bush  
Elephant Tree  
Elephant Tree  
Yellow Bird of Paradise  
Mexican Bird of Paradise  
Red Bird of Paradise  
Fairy Duster  
Fairy Duster, False Mesquite  
Fairy Duster  
Crucifixion Thorn  
Feathern Cassia  
Texas Cassia  
New Zeland Cassia  
Candle Bush  
Golden Wonder Cassia  
Gold Medallion Tree  
Green Feathery Cassia  
Silver Cassia  
African Cassia  
Shrubby Cassia  
Mountain Mahogany  
Sturts Desert Pea  
Little Leaf Cordia  
Indigo Bush  
Feather Dalea

Dalea Pulchra	Gregg Dalea
Ulmus Parvifolia	Chinese Evergreen Elm
Quercus Virginiana	Southern Live Oak
Dalea Spinosa	Smoke Tree
Dalea Wislizenii	Indigo Bush
Dasylyron Wheeleri	Desert Spoon
Dodonea Viscosa	Hop Bush
Eysenhardia Polystachia	Kidney Wood
Fallugia Paradoxa	Apache Plume
Forestiera Neomexicana	Desert Olive
Souquieria Spendens	Ocotillo
Hesperaloe Funifera	Red Yucca
Hesperaloe Narviflora	Coral Yucca
Hyptis Emoriy	Desert Lavender
Jatropha Cardiophylla	Limber Bush
Jojoba Simmondsia	Jojoba
Justica Candicans	Firecracker Bush
Leucaena Retusa	Golden Lead Ball Tree
Lycium Andersonni	Anderson Thornbush
Lycium Brevipes	Thornbush
Lycium Fremonti	Wolfberry, Tomatillo
Maytenus Phyllanthiodes	Gutta Pecha Mayten
Mimosa Biucifera	Catclaw, Wait a Minute Bush
Mimosa Dysocarpa	Velvet Pod Mimosa
Nolina Bidgelovii	Bigelow Nolina
Nolina Microcarpa	Bear Grass
Quercus Turbinella	Scrub Oak
Rhamnus Californica	Coffee Berry
Ruellia Californica	Redberry
Ruellia Californica	Ruellia
Salvia Farinacea	Mealy Cup Sage
Salvia Chamyorioides	Blue Sage
Senecio Salignus	Willow-Leaf Groundsel
Simmondsia Chinensis	Jojoba
Sophora Arizonica	Arizona Sophor
Tecoma Stans	Arizona Yellow Bells
Tetracoccus Hallii	Hall's Shrubby Spurge
Vauquelina Californica	Arizona Rosewood
Viguiera Tomentosa	Golden Eye
Yucca Species	Spanish Dagger
Zauschneria Latifolia	Hummingbird Flower
Zizyphus Obtusifolia	Greythorn, White Cruccillo
Lophocereus Schotti	Totem Pole Cactus
Pedilanthus Macrocarpus	Slipper Plant
Agave Geminiflora	Twin Flowered Agave

Agave Parryii  
Agave Bovicornuta  
Portulacaria Afra  
Opuntia Santa-rita  
Pittosporum Tobira

Parry's Agave  
Cow Horn Agave  
Elephant's Bush  
Purple Prickly Pear  
Dwarf Japanese Mock Orange

#### Ground Covers

Aloe Species  
Ambrosia Deltoidea  
Boileya Multiradiata  
Dalea Greggii  
Encelia Farinosa  
Eriogonum Fasciculatum  
Haplo Pappus Larkifolia  
Justicia Ouata  
Justicia Spingera  
Melampodium Leucanthum  
Myoporaceae  
Oenothera Berlandieri  
Salvia Chamaebryoides  
Salvia Greggii  
Sphaeralcea Amibilia  
Verbena Pulchella 'gracilior'  
Zalischneria Californica  
Zinnia Grandiflor

Aloe  
Bursage  
Desert Marigold  
Trailing Indigo Bush  
Brittle Bush  
Buckwheat  
Turpentine Bush  
Firecracker Plant  
Desert Honeysuckle  
Blackfoot Daisy  
Myoporum  
Mexican Primrose  
Mexican Blue Sage  
Scarlet Sage  
Desert Mallow  
Rock Verbena  
California Fushia  
Zinnia

#### Native Annuals

Abronia Villosa  
Argemone Plicantha  
Baeria Chrysostoma  
Bahis Absinthifolia  
Baileya Multiradiata  
Dyssodia Pentachaeta  
Erodium Texanum  
Eschscholzia Mexicana  
Rallistroemia Grandiflora  
Lesquerella Gordonii  
Lupinus Sparciflora  
Orthocarpus Purpurascens  
Pectispapposa  
Plantago Insularis

Sand Verbena  
Prickly Poppy  
Goldfield  
Bahia  
Desert Marigold  
Dyssolia  
Fillaree  
Mexican Gold Poppy  
Gold Crucifier  
Lupine  
Lupine  
Owls Clover  
Cinch Weed  
Indian Wheat

#### Prohibited Plants/ Materials

The following vegetation types and varieties are expressly prohibited.



1. All Pines (Pinus), Cypress (Cypressus), False Cypress (Chamaecyparissus), Juniper or Cedar (Juniperus), Arborvitae (Thuja or Platycladus)
2. Olive trees (Olea europaea) other than the "Swan Hill" variety.
3. Oleanders (Nerium oleander) other than the dwarf variety and Thevetia (Thevetia Species).
4. Fountain Grass (Pennisetum setaceum) or Pampas Grass (Cortaderia Selloana).
5. All varieties of Citrus, except that dwarf varieties are permissible within the confines of the rear yard.
6. Mexican Palo Verde (Parkinsonia aculeata).
7. All varieties of Mulberry trees.
8. Cottonwood Trees.

#### Fine Grading & Mounding

Fine grading is a critical aspect of landscaping. Each Lot has been graded such that all storm water will drain away from the house. It is important that this drainage pattern be maintained when preparing the landscape design, especially if mounding or berming is proposed. In all cases, the installation must comply with the City of Phoenix grading and drainage plan.

Mounding or berming within an area measured 7' behind the back of the curb along the entire frontage of the Lot is discouraged.

Mounding and other proposed grade changes will be closely scrutinized by the Architectural Committee to assure that mounding will appear natural.

#### Water Features (Fountains, Etc.)

Refer to Decorative Items (Including Fountains and Ornamental Statuary) in the Architectural Guidelines.

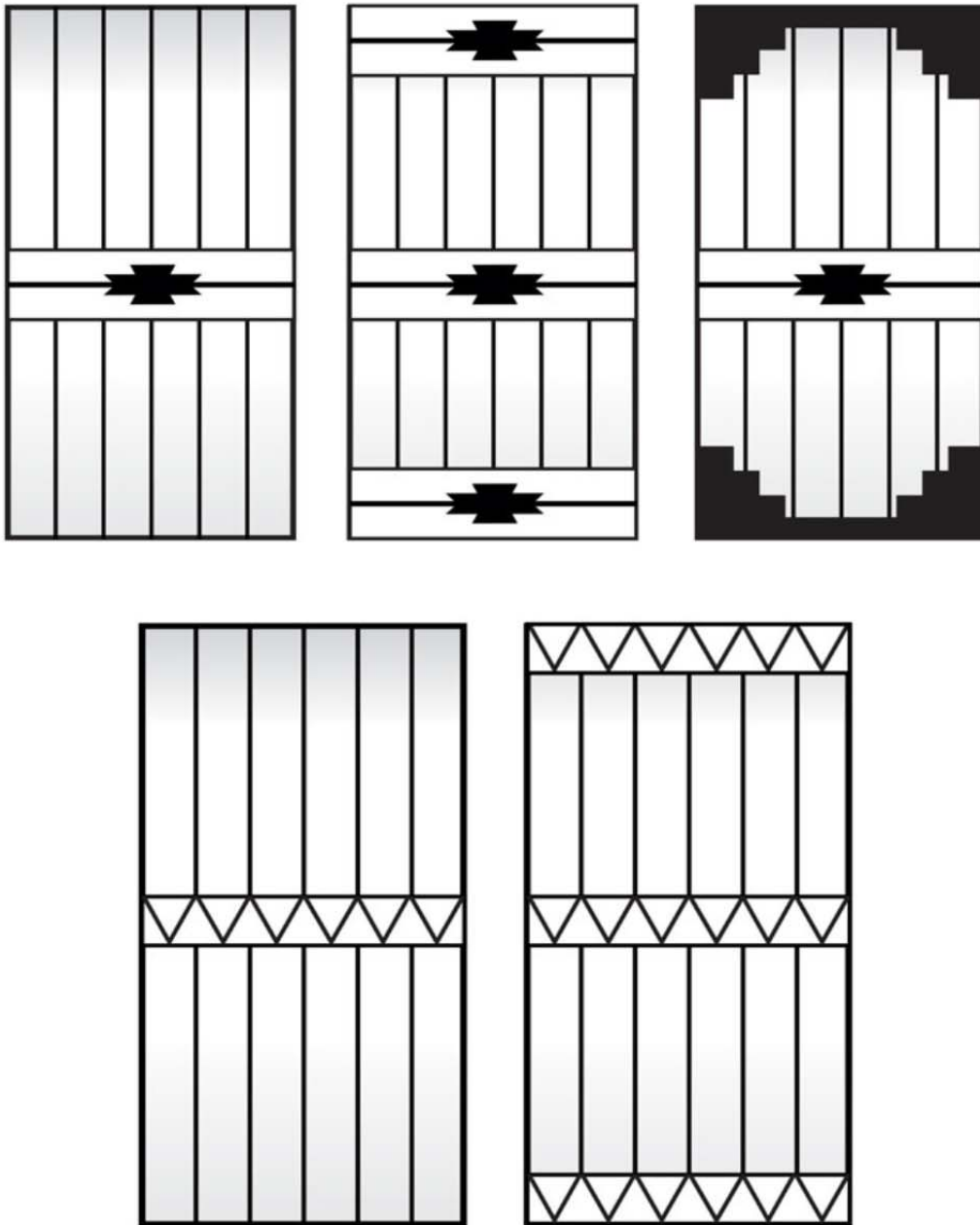
#### Hardscape

Any additional pavement areas in any form, e.g., concrete, brick, tile, or any wood decks, etc. must be approved by the Architectural Committee. Bollards, rope and railroad ties are prohibited in front yards. Headers may not exceed 12" in width and shall be flush where they abut other paved areas and must be of the following materials: brick, saltillo tile, Mexican tile, slump block, concrete, steel, aluminum or 2" x 4" redwood.

#### Lighting

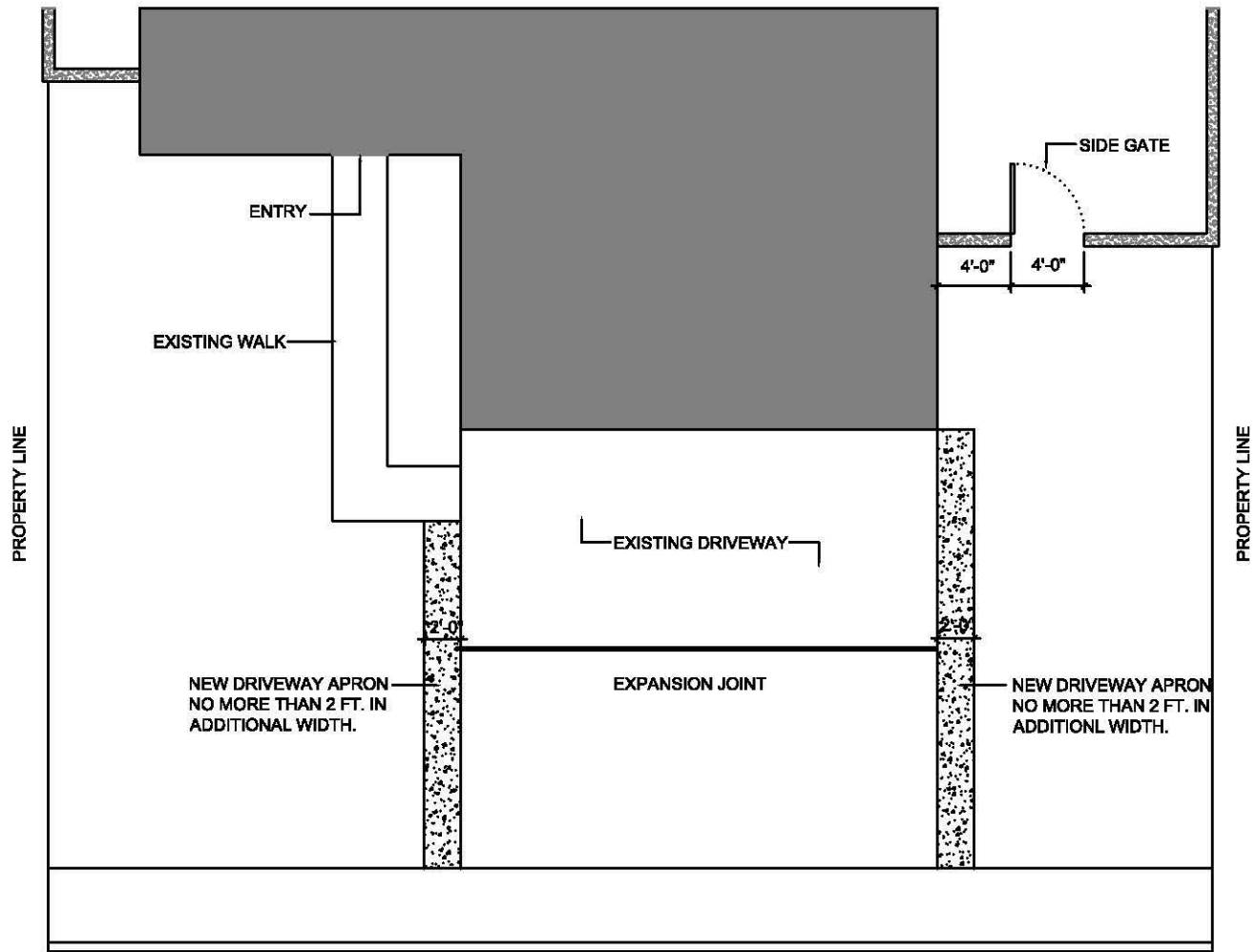
- A. Lighting shall be shielded such that the light shines primarily on the Lot; lights which create glare visible from other Lots are prohibited.
- B. Colored light bulbs, lenses, or reflectors are not permitted.
- C. Light fixtures shall not exceed an illumination intensity of more than one foot candle power as measured from the Lot line.
- D. Low pressure sodium bulbs are not permitted.
- E. Outside lights should be screened wherever possible with walls, plant materials, or internal shielding.
- F. Homeowners must submit for approval of any decorative string lights visible from neighboring property. Holiday lights as described on page 15 are exempt.

## *Security or Screen Doors*



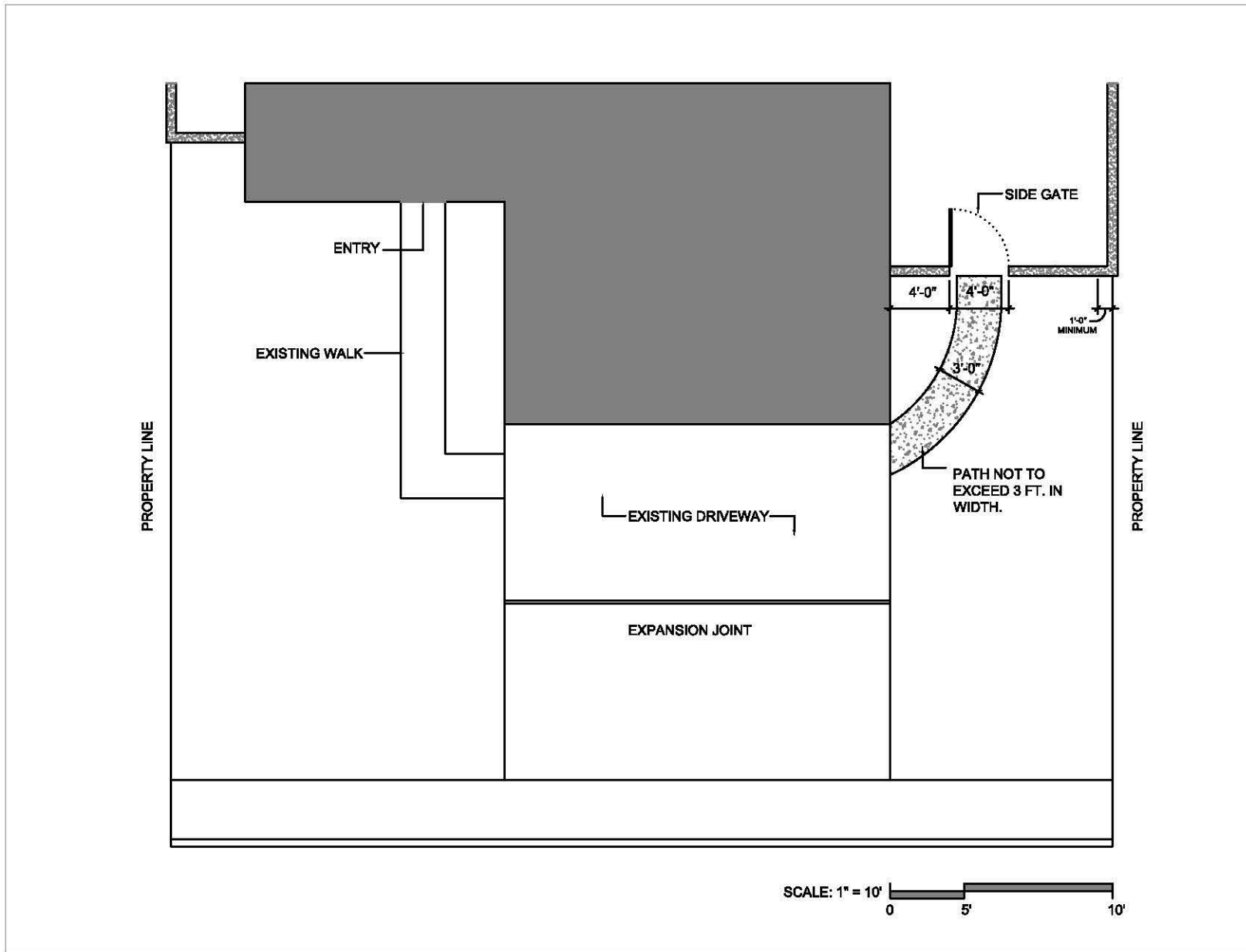
When considering security or screen doors for approval, the committee will be concerned about the quality of the door, its color and design and its ability to blend with the color of the original dwelling door. It would not be considered desirable if the door was so ornate or cluttered that it was the first thing that you would notice when you looked at the home. The Association will allow character designs on doors provided they are in good taste and do not exceed one character per door.

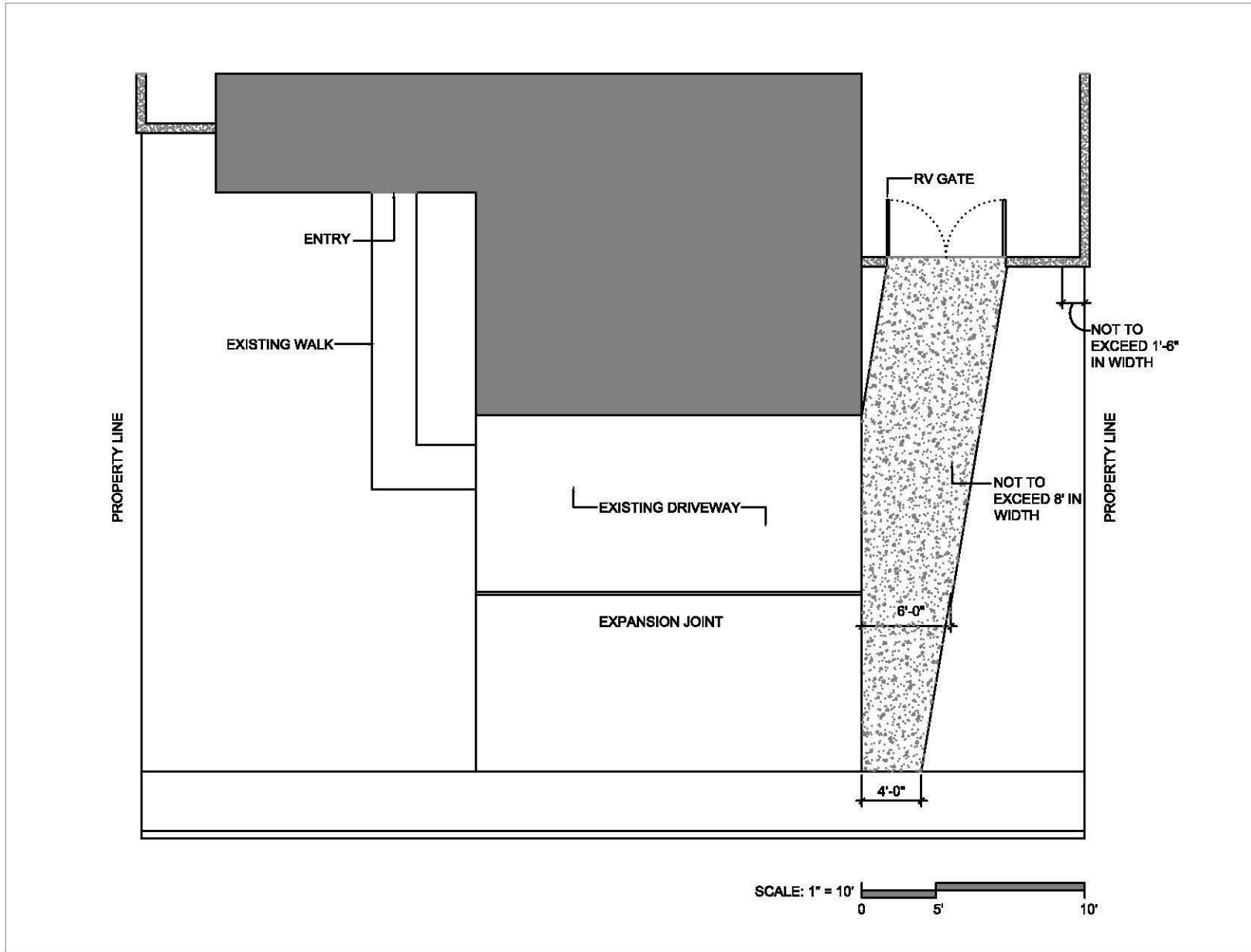
The above drawings are of some doors which have been approved that you can use as guidelines when choosing a pattern for your security or screen doors.

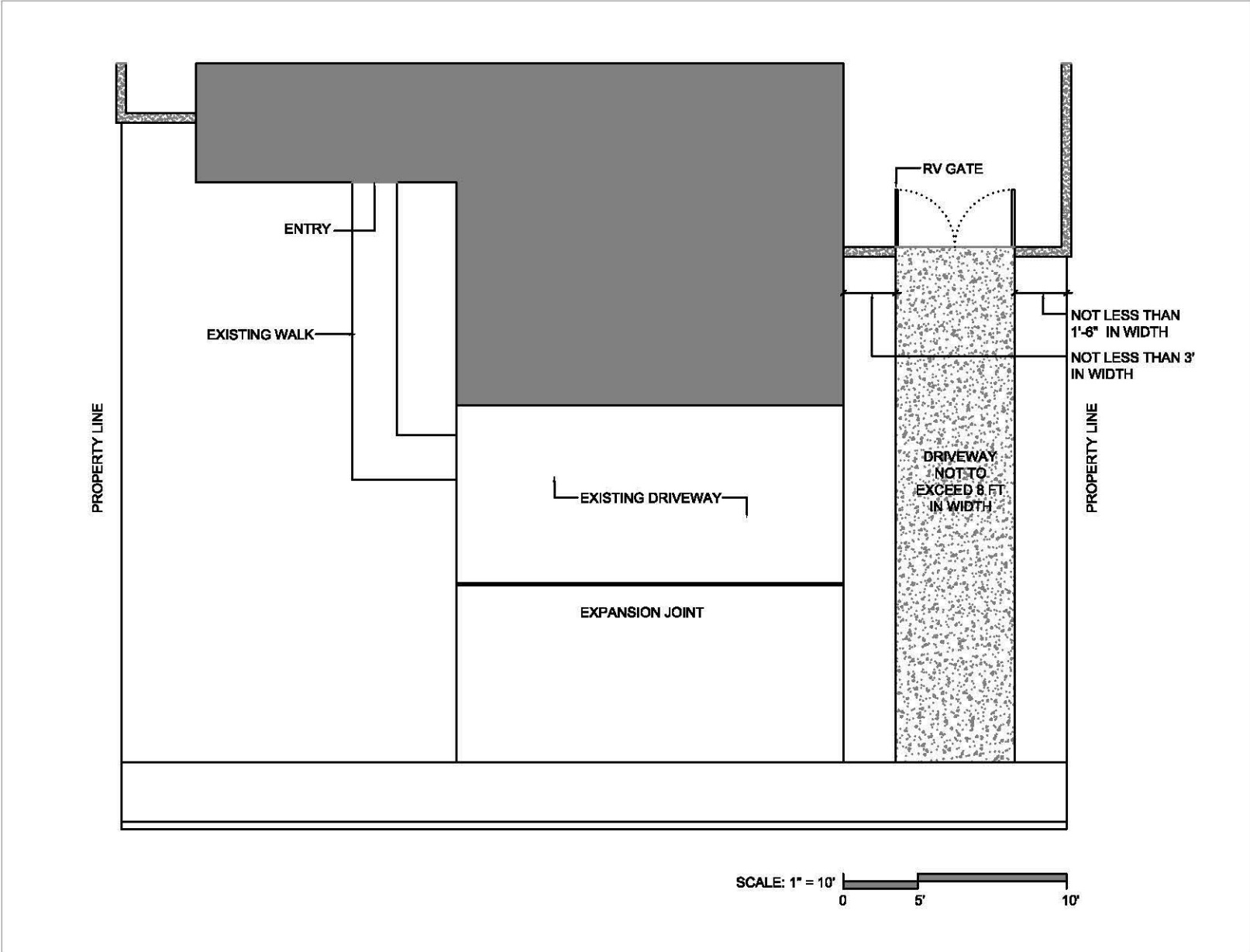


SCALE: 1" = 10'  
 0 5' 10'

Figure 3







## **Foothills Club West Community Association Golf Ball Netting Guidelines**

See page 11

**“Golf Course Lots and Other Lots With Rear Yard Side Fence View Panels”**

### **VERTICLE POLES**

Minimum round pole size 2 3/8” schedule 10  
(must be installed in 2’ concrete footing)

Maximum round pole size 4” tough 40  
(must be installed in 3’ concrete footing)

### **HORIZONTAL POLES**

Minimum round pole size 1 5/8” schedule 10

Maximum round pole size 1 7/8” schedule 10

### **NETTING**

Typical 3/16” golf rope netting

Entire unit, net, poles and hardware to be Kelly Green or an exact match

Maximum height may not exceed height of home

All nets must be approved in writing *prior* to installation

### **MAINTENANCE**

Structure(s) must be maintained in good condition by the owner.



**Foothills Club West Architectural Guidelines**  
**“Turf Guidelines” Amendment**  
**Adopted 03/20/08**

From:  
Turf

Turf areas shall not exceed the City of Phoenix Small Turf Ordinance as may be amended from time to time but in no case shall turf areas exceed 40 percent of the landscapable area of the same Lot.

Artificial turf is prohibited and will not be considered for installation in Foothills Club West.

To:  
Turf

Turf (natural and synthetic) areas shall not exceed the City of Phoenix Small Turf Ordinance as may be amended from time to time but in no case shall turf areas exceed 40 percent of the landscapable area of the same lot.

Synthetic Turf will be considered for installation with the following conditions:

1. A minimum of a one square foot sample of the exact synthetic turf product that is intended to be installed along with the manufacturer's product specifications must be submitted with the completed Architectural Approval Request form.
2. Color must be a dark “lawn green” and be able to maintain its original color and appearance throughout its lifetime.
3. The outside edges of the synthetic turf must be tacked down using a minimum of 7” stakes.
4. The turf area is to be maintained like any other landscaped area and is to remain free of weeds and debris.
5. Texture and length of the synthetic turf is to remain the same length and texture of the originally installed product.
6. Patches will not be allowed unless they are seamless and the exact “lawn green” color as the originally installed product.
7. Faded turf will have to be removed or replaced and the responsibility remains with the homeowner and subsequent homeowners.
8. A smooth or flat installation must be maintained in order to keep the turf from gathering or rolling. If rain or wind should erode the base which the turf sits on, then the base must be leveled.
9. No additional synthetic turf will be allowed on the property without additional approval from the Architectural Committee.
10. Warranty disputes with the manufacturer of the synthetic turf are the responsibility of the homeowner. The Board will allow a reasonable time

frame not to exceed sixty (60) days to resolve the dispute and restore the turf back to the originally installed condition.

11. Replacement of the synthetic turf must be pre-approved by the Architectural Committee to ensure like type color and quality of the replacement product.
12. Removal of the turf at the request of the Architectural Committee and/or Board of Directors will be at the sole cost of the property owners and subsequent owners and any and all costs resulting from legal remedy should the Architectural Committee need to employ counsel to uphold any portion of this agreement, will be the responsibility of the homeowner or subsequent homeowner.
13. Homeowners must abide by all City of Phoenix ordinances regarding synthetic turf specifications and installation.

If any of these guidelines are not followed, or if the Architectural Committee or the Board determines that the installed turf no longer has the same appearance as it did when it was originally installed, the Board has the right to order the homeowner or subsequent homeowner to either repair the deficiencies or remove the turf and landscape the property, at the homeowner's expense, according to Foothills Club West Architectural Guidelines.

This resolution will become effective March 20, 2008.

At the Board of Directors Meeting held on September 16, 2010 the Board adopted the following Synthetic Turf Specifications. When submitting for synthetic turf make sure your selection meets the minimum specifications noted below.

<b>Components:</b>	<i>Minimum Spec</i>
<b>Yarn Count</b>	<i>Primary:</i> 10,000/8 <i>Secondary:</i> 5,000/12
<b>Tufting Construction</b>	Dual yarn, same row
<b>Blade Height</b>	1-3/4"
<b>Tufting Gauge</b>	3/8"
<b>Face Weight</b>	80 ounces
<b>Warranty</b>	10 Year
<b>Color</b>	Natural Appearance